

For Permit Review Only
Not For Construction

NOTICE OF INTENT PLANS FOR: North Street Condominiums

North Street & Northern Avenue
Northampton, Massachusetts

Owner & Applicant:

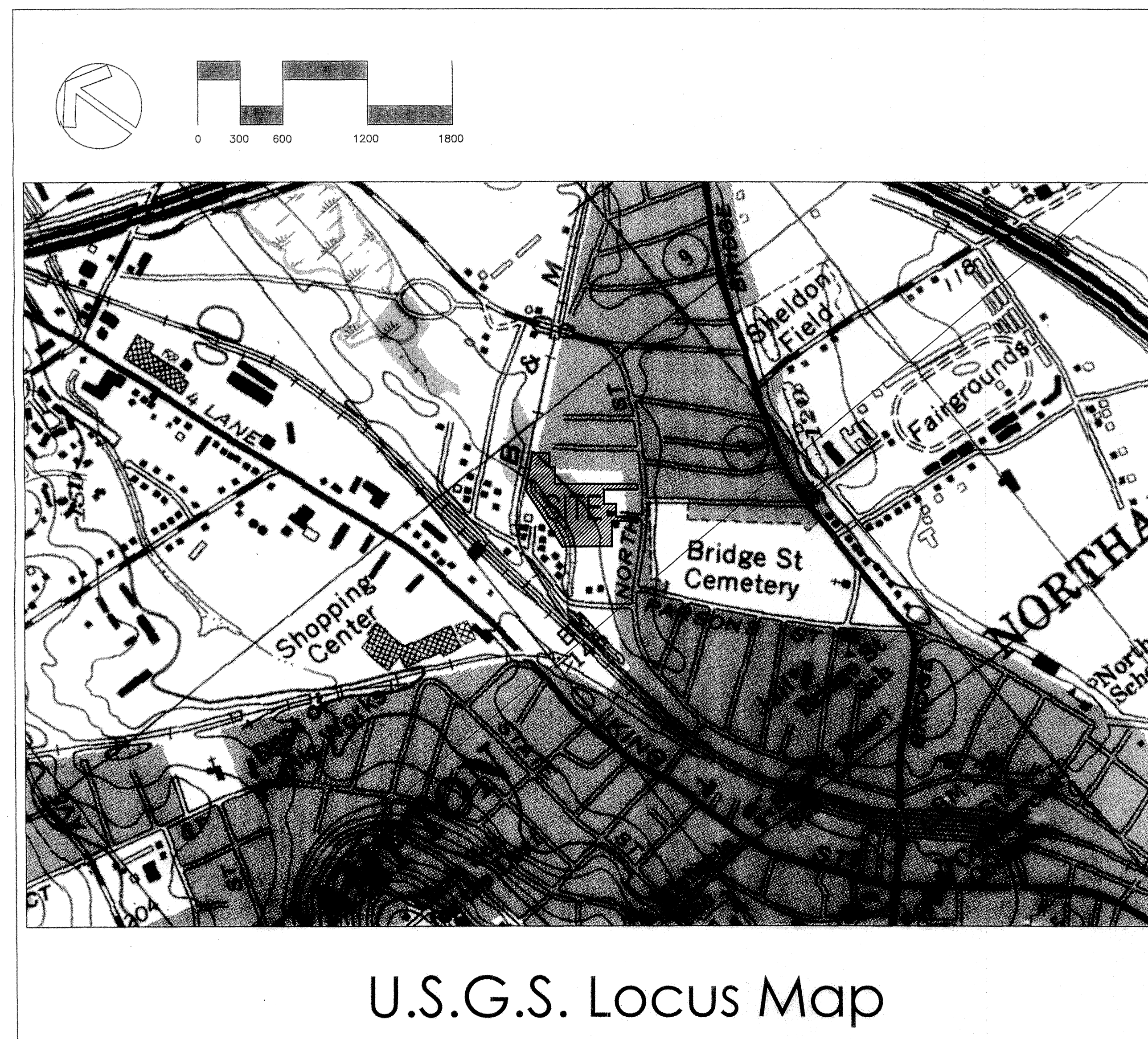
Tofino Associates, Inc.
31 Campus Plaza Road
Hadley, Massachusetts 01035

Prepared By:



*Landscape Architecture
Civil Engineering
Planning
Land Surveying*

4 Allen Place, Northampton, Massachusetts 01060
(413) 582-7000 • FAX (413) 582-7005



U.S.G.S. Locus Map

Date:

November 11, 2008
December 29, 2008 Revision
February 19, 2009 Revision
March 5, 2009 Revision

Sheet Index:

- L1 Existing Conditions
- L2a Site, Grading & Planting Plan
Mitigation/Invasive Species
Removal Plan
- L2b Site, Grading & Planting Plan
- L3a Drainage & Utility Plan
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- EC1 Erosion Control Plan

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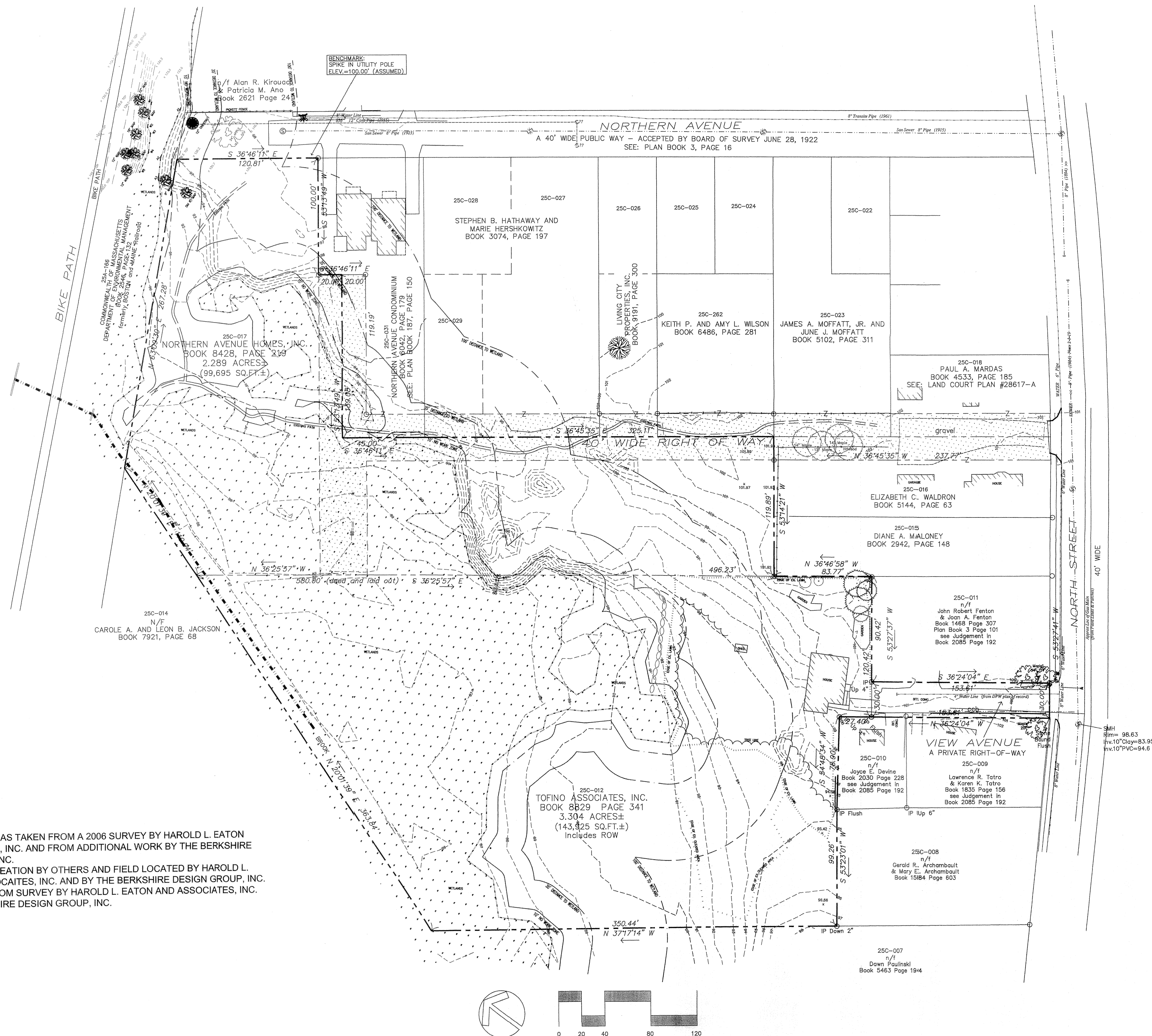
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Existing
Conditions

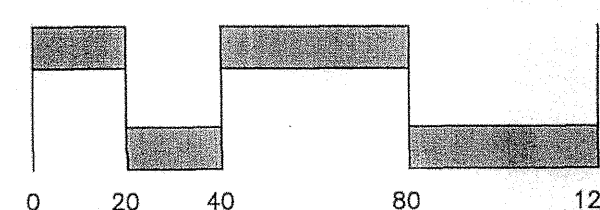
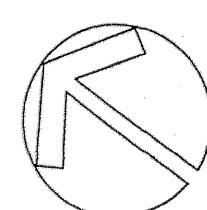
Revisions
12.29.08 Revise Grading/Reduce Buffer Zone Work
02.19.09 Redesign/Reduce Density
03.05.09 Plan revisions/additions

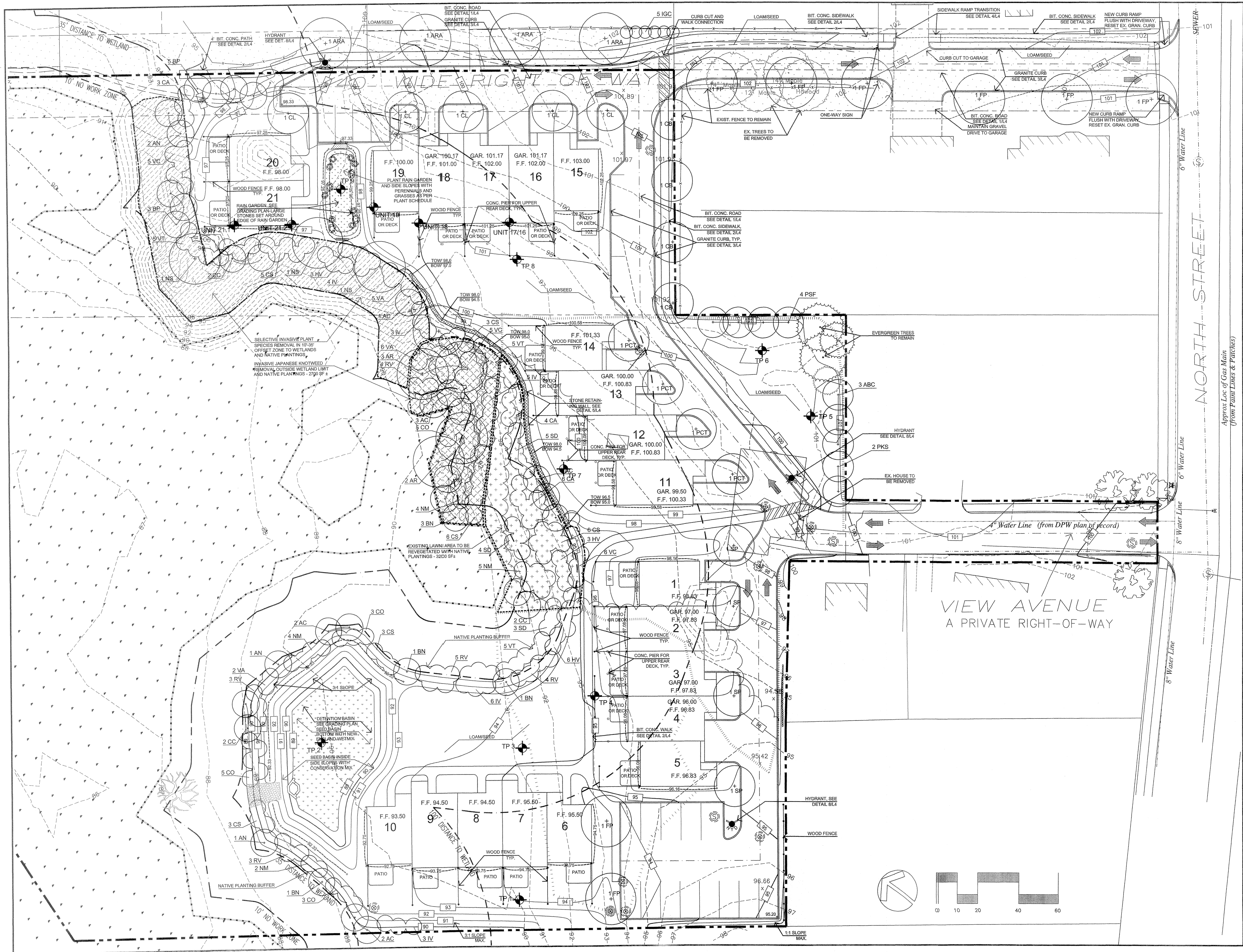
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L1



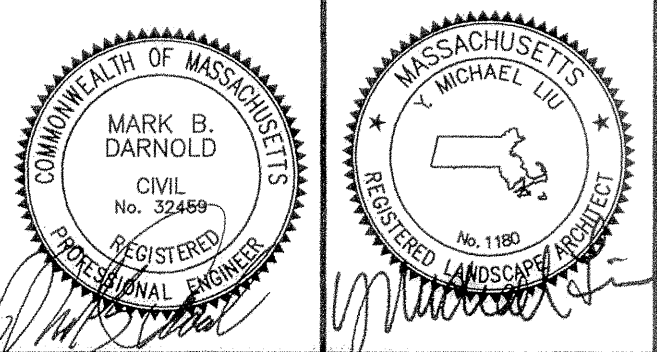
- NOTES:
1. PROPERTY LINES AS TAKEN FROM A 2006 SURVEY BY HAROLD L. EATON AND ASSOCIATES, INC. AND FROM ADDITIONAL WORK BY THE BERKSHIRE DESIGN GROUP, INC.
 2. WETLANDS DELINEATION BY OTHERS AND FIELD LOCATED BY HAROLD L. EATON AND ASSOCIATES, INC. AND BY THE BERKSHIRE DESIGN GROUP, INC.
 3. TOPOGRAPHY FROM SURVEY BY HAROLD L. EATON AND ASSOCIATES, INC. AND THE BERKSHIRE DESIGN GROUP, INC.





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Planning
Urban Design
Environmental Design

4 Allen Place, Northampton, Massachusetts 01060
(413) 582-7000 • FAX (413) 582-7005
Email: bdg@berkshiredesign.com
Web: http://www.berkshiredesign.com



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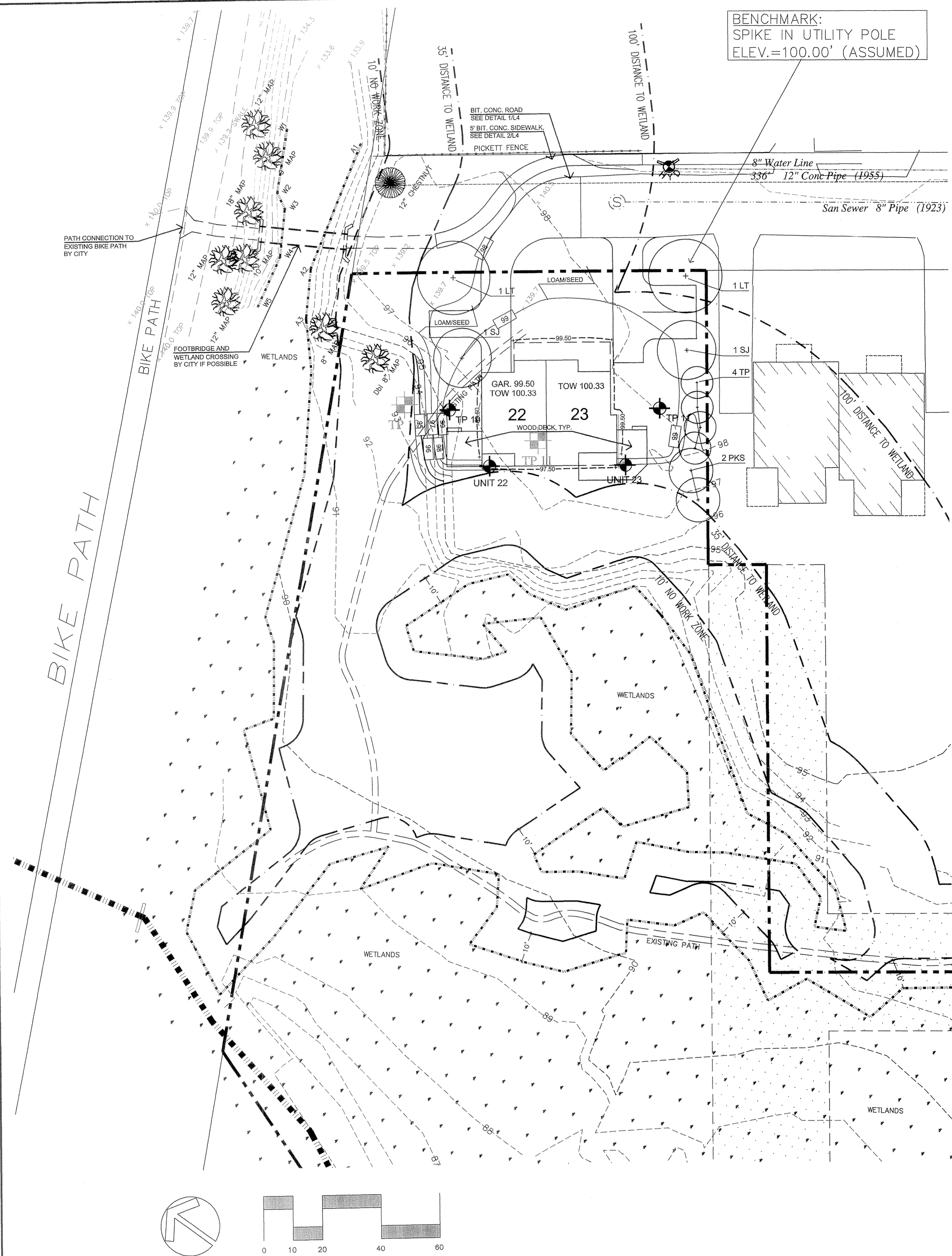
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Site, Grading & Planting Plan

Mitigation/Invasive Species Removal Plan

Revisions	
02.19.09	Redesign/Reduce Density
03.05.09	Plan revisions/additions

Date:	November 11, 2008	Sheet Number
Scale:	1"=20'	L2a
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Checked By:	YML	



Existing Conditions / Demolition Notes

- Existing conditions and topography taken from field survey by Harold L. Eaton & Associates Spring 2006, Hadley, MA, and supplemented by The Berkshire Design Group, Spring 2008, Northampton, MA.
- The Contractor shall be responsible for a thorough site examination to determine the extent of demolition necessary to prepare the site for construction and shall verify all items to be demolished or salvaged with the Landscape Architect prior to beginning work.
- Care shall be taken not to damage any items designated to remain; repair or replacement of damaged items designated to remain shall be at the Contractors' expense.
- Disposal of property designated to be removed shall be at the direction of the Landscape Architect or Owner, and shall conform to all applicable laws and regulations. All salvageable material shall be delivered by the Contractor to storage areas designated by the Landscape Architect. Contractor shall remove all existing unsuitable materials from the site.
- The Contractor shall protect existing trees to remain with 2"x 4"x 6"-0" stakes and snow fencing.
- All topsoil shall be stripped from grass areas to be removed and stockpiled in an area designated by the Owner. The Contractor is responsible for all topsoil as needed to meet the specifications.
- The Contractor may use temporary fencing to control the site during construction. Prior to the finalization of the project, the Contractor shall remove all temporary fencing and barricades.

Grading & Utility Notes

- Project benchmark is noted on Existing Conditions Plan.
- All sidewalks/walkways shall conform to the Massachusetts Architectural Access Board's (AAB) requirements. Sidewalk/walkway cross-slope is 1.5 % minimum, 2.0% maximum. Maximum slope in any direction shall be 5.0%. Slopes shall not exceed 2% across any accessible parking space or adjacent aisles.
- All materials and construction methods shall conform to the construction standards and specifications of the City of Northampton and Mass. Highway Department.
- All dimensions, elevations and layout shall be verified in the field by the contractor and approved by the Landscape Architect prior to beginning work.
- All new or adjusted manholes, gas gates, water gates and water services to be flush with finished grade.
- All new or adjusted catch basin rims shall be set 1/2" below finished grade.
- All HDPE drain pipe to be smooth walled type (Mannings n=0.012).
- Notify the Landscape Architect of any discrepancies prior to construction.
- Thrust blocks shall be installed at all changes in direction of water lines and force mains.
- Fire hydrant shall be located within required distance of building pumper connection, per applicable codes. Contractor to coordinate final locations.
- All sanitary sewer gravity pipe shall be PVC SDR35.
- All sanitary waste vents (GW, IW, SAN) shall be installed with a pitch to drain back to structure being vented.
- Electric, telecom and gas service locations are shown as schematic only; Final locations to be coordinated with respective utility company.

Planting Notes

- All nursery stock shall comply with the latest standards of the American Nursery & Landscape Association with regard to grading and quality.
- All plants shall conform to the measurements specified, except that plants larger than those specified may be used if approved by the Landscape Architect.
- All plants shall be nursery grown in accordance with good horticultural practices and shall be grown under climatic conditions similar to those in the project locality for at least two years.
- Balled and burlapped plants (B&B) shall be moved with the root system as solid units; root balls shall be firmly wrapped with burlap. Container grown plants shall not be removed from container prior to the time of installation; root system shall be firmly set in container.
- Planting soil mix shall consist of seven (7) parts loam and one (1) part peat moss by volume, with a pH value of 5.0 to 6.0.
- All trees and shrubs to receive two (2) fertilizer packets as shown in details.
- Planting beds to receive 4" depth of bark mulch.
- All plant material shall be guaranteed for one full growing season (one year) after installation.
- Any plant material which dies, turns brown or unexpectedly defoliates prior to acceptance of work shall be promptly removed from the site and replaced with material of the same species, quality, size and meeting all planting specifications.
- Planting layout shall be approved by the Landscape Architect prior to installation.

Plant Schedule

KEY QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
ABC 3	Abies concolor	White Fir	7"-8" ht.
AR 3	Acer rubrum 'Red Sunset'	Red Sunset Red Maple	3"-3.5" cal.
ARA 4	Acer rubrum 'Armstrong'	Armstrong Red Maple	3"-3.5" cal.
CB 4	Carpinus betulus 'Fastigiata'	Columnar European Hornbeam	2"-2.5" cal.
CL 5	Crataegus laevigata 'Crimson Cloud'	Crimson Cloud Hawthorn	2"-2.5" cal.
FP 8	Fraxinus pennsylvanica 'Cimmaron'	Cimmaron Green Ash	3"-3.5" cal.
IGC 5	Ilex glabra 'Compacta'	Compact Inkberry	24"-36"
LT 2	Liriodendron tulipifera	Tulip Tree	3"-3.5" cal.
PCT 4	Prunus cerisifera 'Thundercloud'	Thundercloud Redleaf Plum	2"-2.5" cal.
PKS 4	Pinus koraiensis 'Silveray'	Silveray Korean Pine	7"-8" ht.
PSF 4	Pinus strobus 'Fastigiata'	Columnar White Pine	7"-8" ht.
SJ 2	Syrax japonica	Japanese Snowbell	2"-2.5" cal.
SP 4	Stewartia pseudocamellia	Japanese Stewartia (multi-stem)	8"-10"
TP 4	Thuja plicata 'Green Giant'	Green Giant Western Arborvitae	6"-7" ht.

NATIVE SPECIES PLANTING BUFFER

KEY QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
AC 11	Amelanchier canadensis	Shadblow, Serviceberry	7"-8" ht.
AN 4	Acer negundo	Box Elder, Ash Leaf Maple	7"-8" ht.
AR 5	Acer rubrum	Red Maple	2"-2.5" cal.
BP 8	Betula papyrifera	Paper Birch	7"-8" ht.
BN 6	Betula nigra	River Birch	7"-8" ht.
CA 13	Cornus amomum	Silky Dogwood	3'-4" ht.
CC 6	Carpinus caroliniana	American Hornbeam, Musclemwood	7"-8" ht.
CO 16	Cephalanthus occidentalis	Buttonbush	18"-24"
CS 26	Cornus sericea	Red-osier Dogwood	3'-4" ht.
HV 15	Hamelis virginiana	Witch Hazel	3'-4" ht.
IV 21	Ilex verticillata	Winterberry Holly	3'-4" ht.
NM 15	Nemopanthus mucronatus	Mountain Holly	18"-24"
NS 3	Nyssa sylvatica	Black Gum, Tupelo	2"-2.5" cal.
RV 19	Rhododendron viscosum	Swamp Azalea	18"-24"
SD 12	Salix discolor	Pussy Willow	18"-24"
VA 13	Viburnum acerifolia	Mapleleaf Viburnum	18"-24"
VC 16	Vaccinium corymbosum	Highbush Blueberry	18"-24"
VT 15	Viburnum trilobum	Cranberrybush Viburnum	18"-24"

PERENNIAL LIST - FOR BIO-RETENTION BASIN

QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE
10	Asclepias tuberosa	Orange Butterfly Weed	quart
10	Carex stricta	Tufted Sedge	quart
8	Helianthus autumnale	Sneezeweed	quart
8	Iris sibirica	Siberian Iris	quart
10	Lobelia cardinalis	Cardinal Flower	quart
8	Ligularia stenocephala	Leopard Plant	quart
8	Pennisetum alopecuroides	Fountain Grass (plant at edges among boulders)	gallon
6	Panicum virgatum	Switch Grass (plant at edges among boulders)	gallon

NEW ENGLAND WETMIX

BOTANICAL NAME	COMMON NAME	PERCENT
Carex vulpinoidea	Fox Sedge	40
Carex lupulina	Hop Sedge	6
Alisma plantago-aquatica	Water Plantain	5
Bidens cernua	Nodding Bur Marigold	5
Carex lurida	Lurid Sedge	5
Juncus effusus	Soft Rush	5
Solidago graminifolia	Grass-leaved Goldenrod	5
Carex oenocarpa	Bearded Sedge	4
Carex crinita	Fringed Sedge	4
Eupatorium perfoliatum	Boneset	4
Aster umbellatus	Flat-top Aster	3
Scirpus acutus	Hard-stem Bulrush	3
Scirpus atrovirens	Green Bulrush	3
Scirpus cyperinus	Woolgrass	3
Eupatorium maculatum	Spotted Joe Pye Weed	2
Verbena hastata	Blue Vervain	2
Penthorum sedoides	Ditch Stonecrop	1
Total		100

CONSERVATION MIX

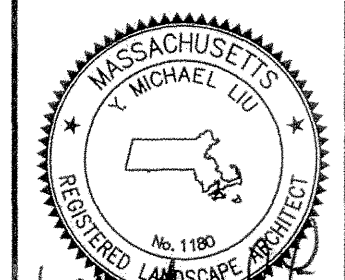
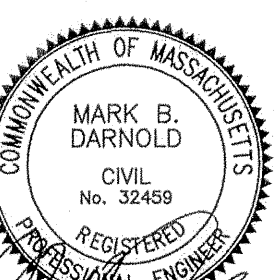
BOTANICAL NAME	COMMON NAME	PERCENT
Andropogon gerardii	Big Bluestem	20
Schizachyrium scoparium	Little Bluestem	20
Panicum virgatum	Switchgrass	20
Carex vulpinoidea	Fox Sedge	10
Elymus villosus	Silky Wild Rye	8
Asclepias syriaca	Common Milkweed	5
Panicum clandestinum	Deertongue	5
Polygonum pennsylvanicum	Pennsylvania Smartweed	5
Chamaecrista fasciculata	Partridge Pea	4
Aster laevis	Silky Smooth Aster	1.5
Bidens cernua	Nodding Bur Marigold	1
Aster umbellatus	Flat-top Aster	0.5
Total		100



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Site, Grading &
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Revisions
01.15.09 Revise Grading/Reduce Buffer Zone Work
02.19.09 Redesign/Reduce Density
03.05.09 Plan revisions/additions

Date: November 11, 2008

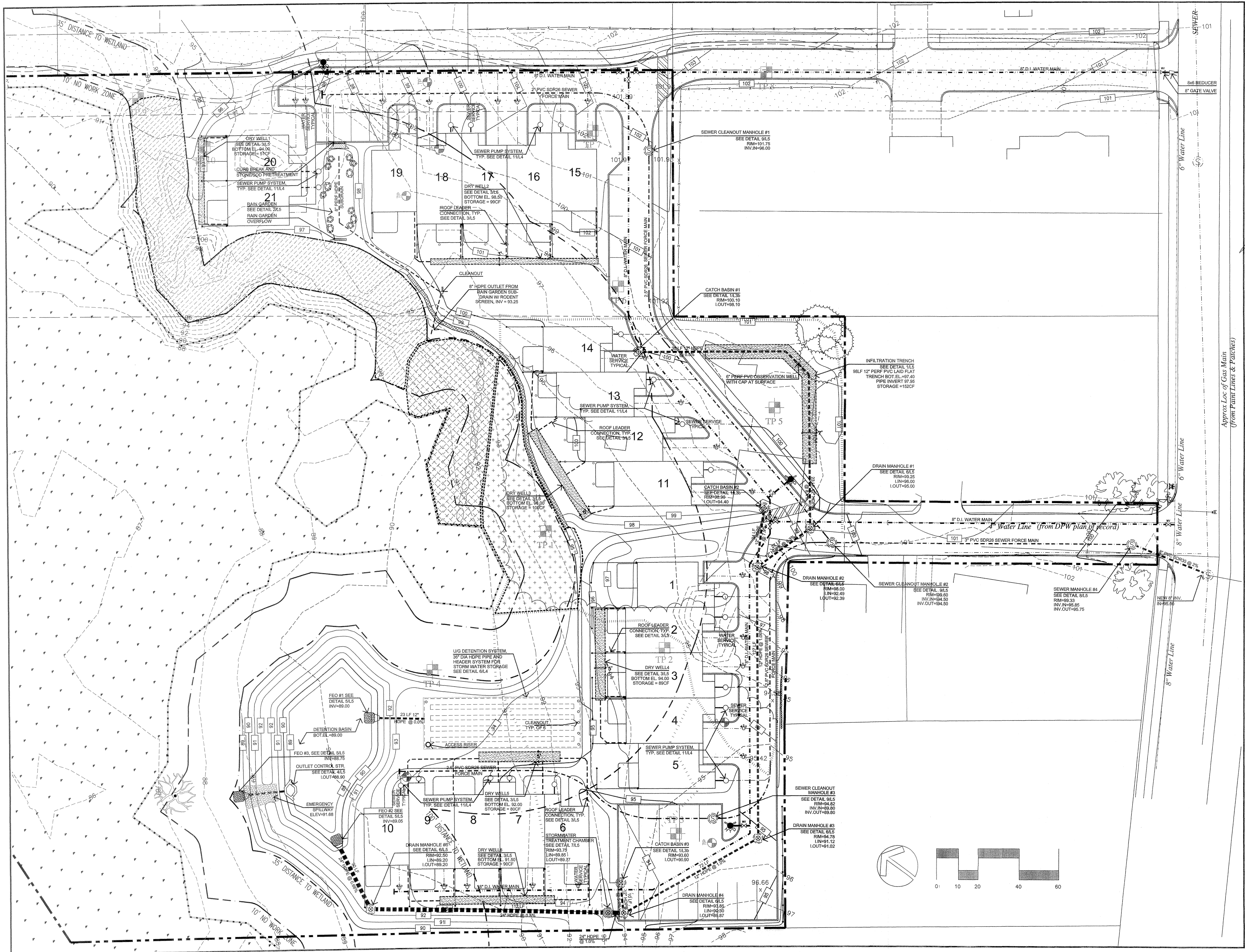
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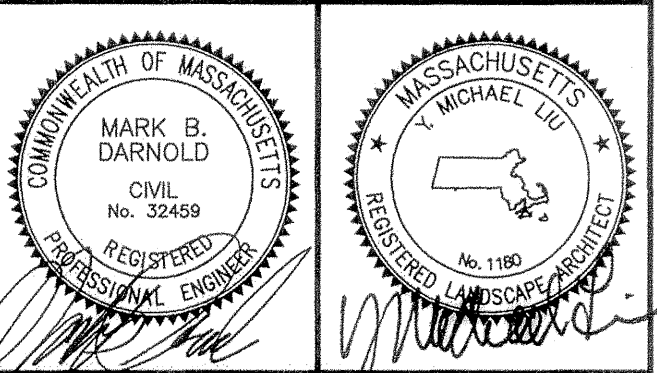
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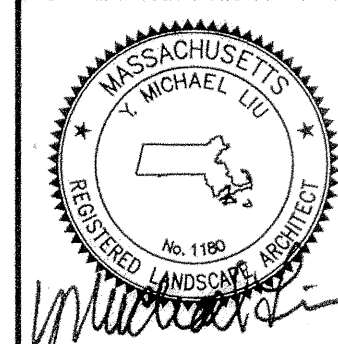
Drainage and Utility Plan

Revisions	
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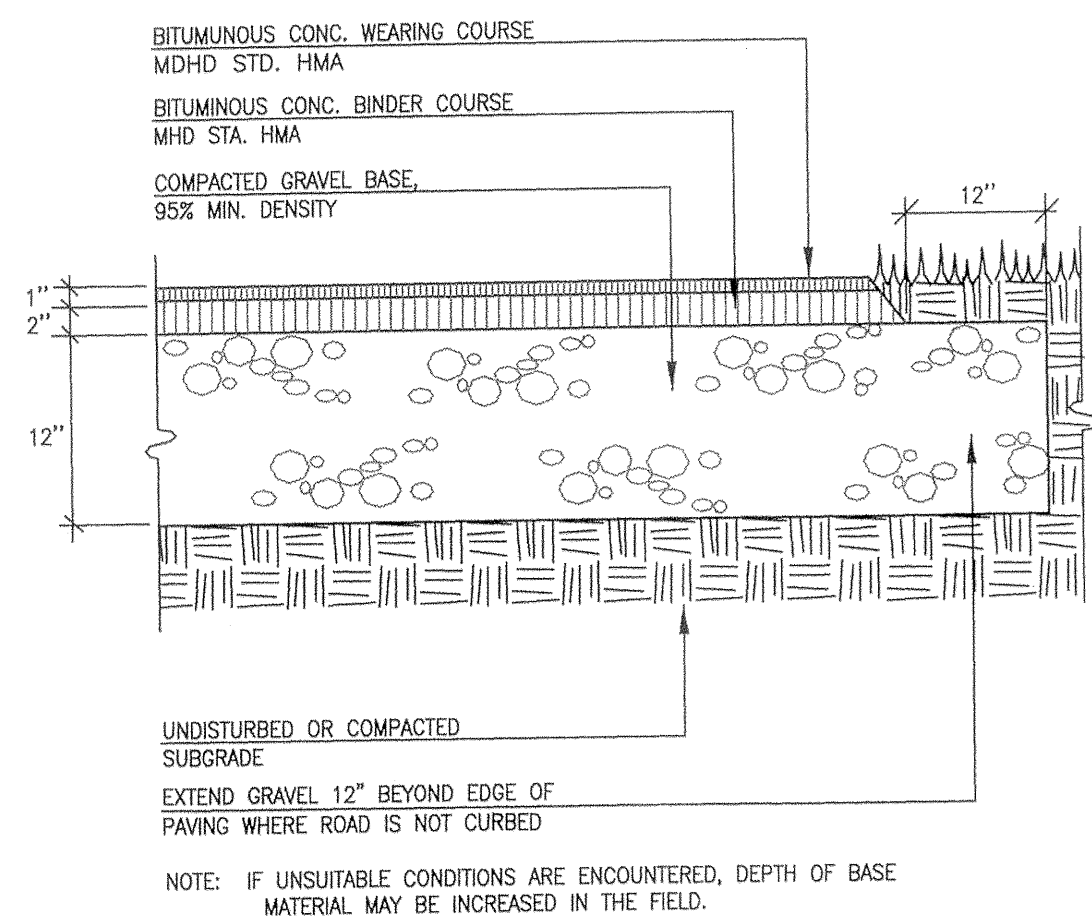
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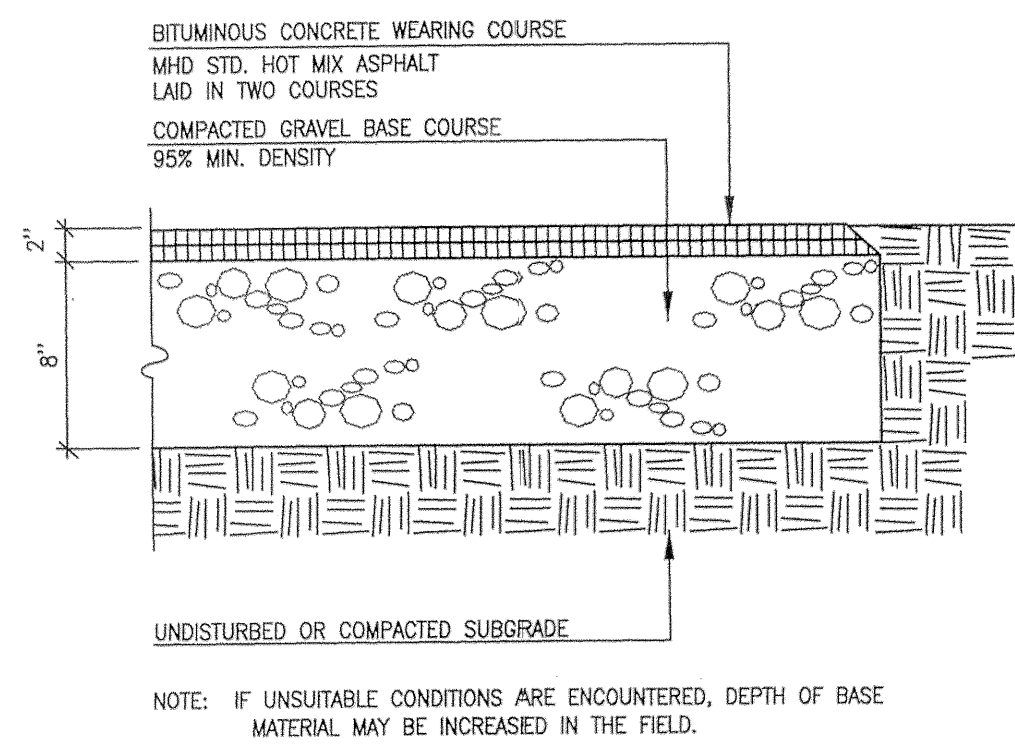
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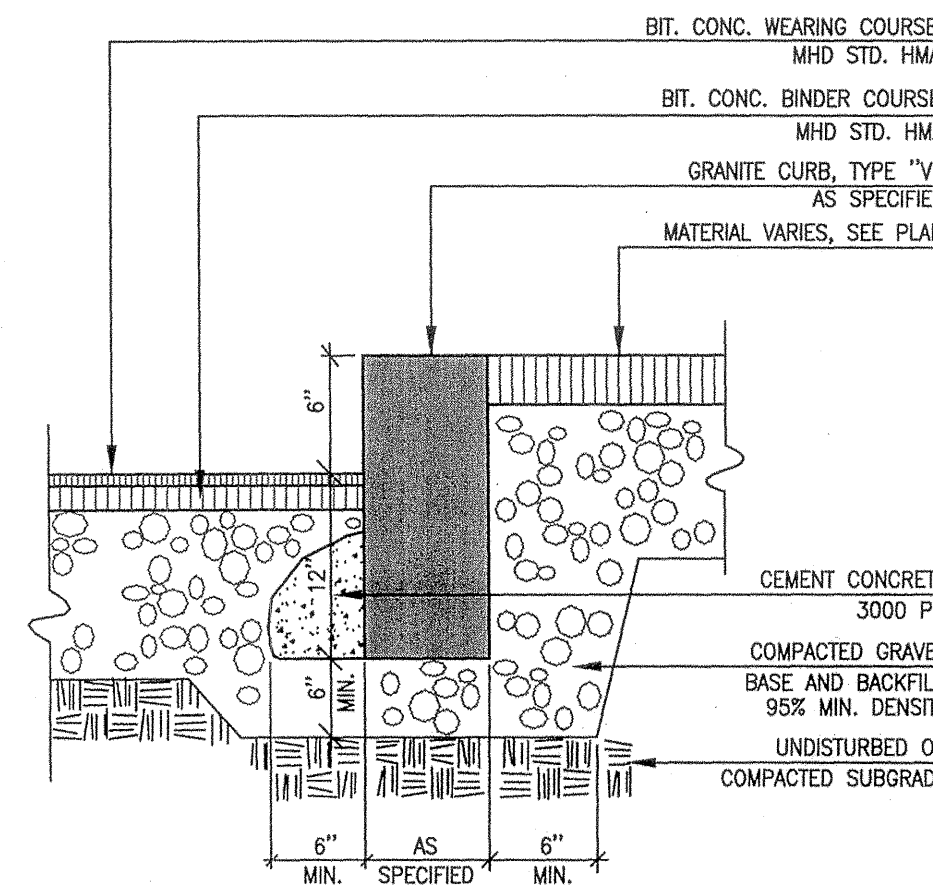
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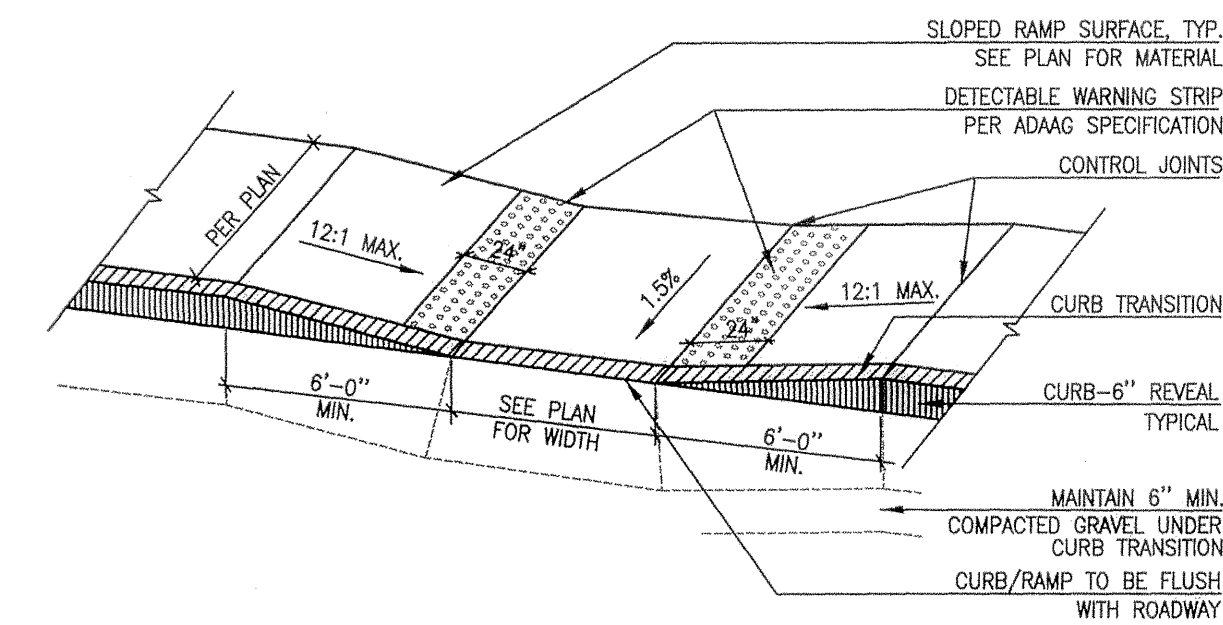
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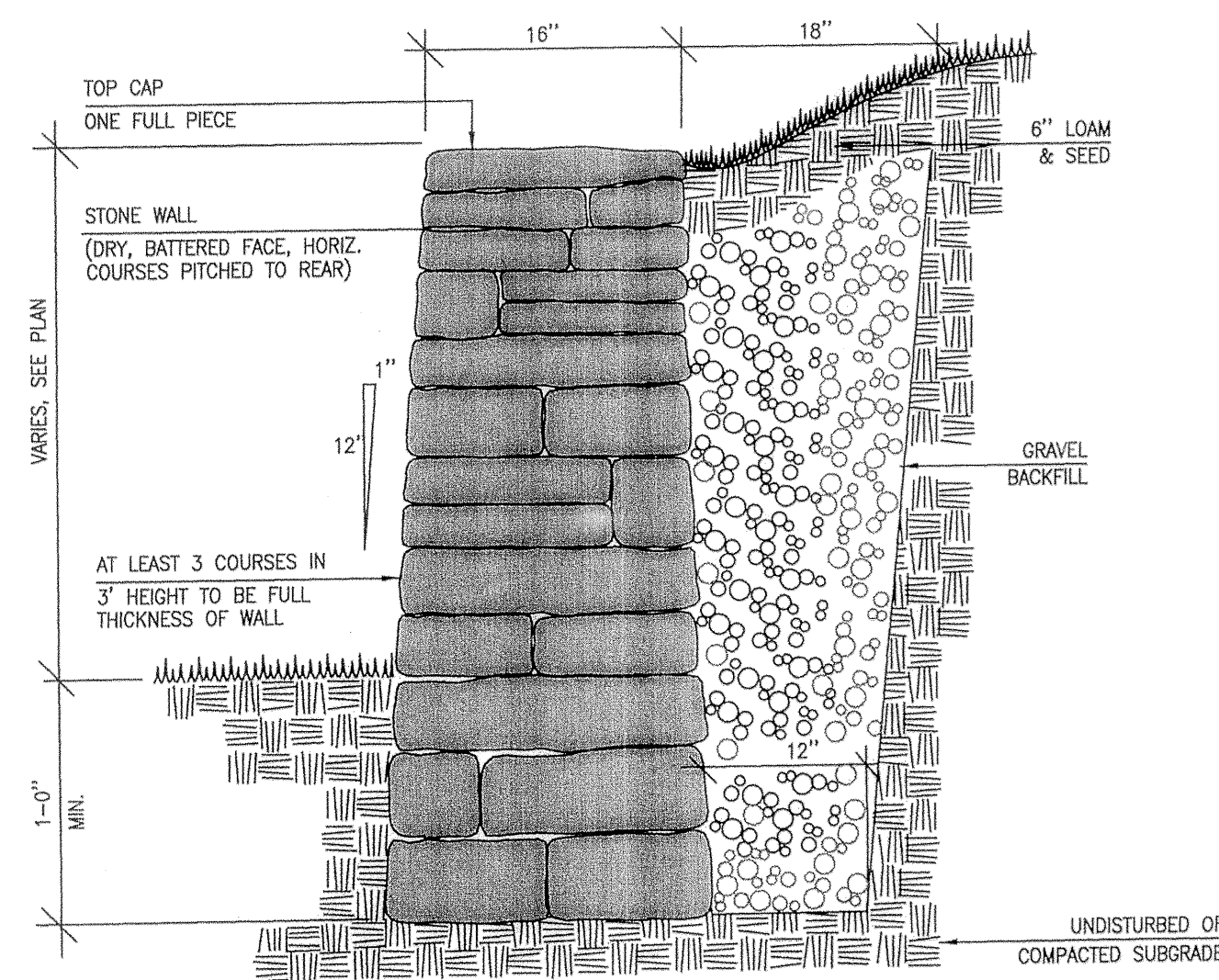
2 Bit. Conc. Walk Paving
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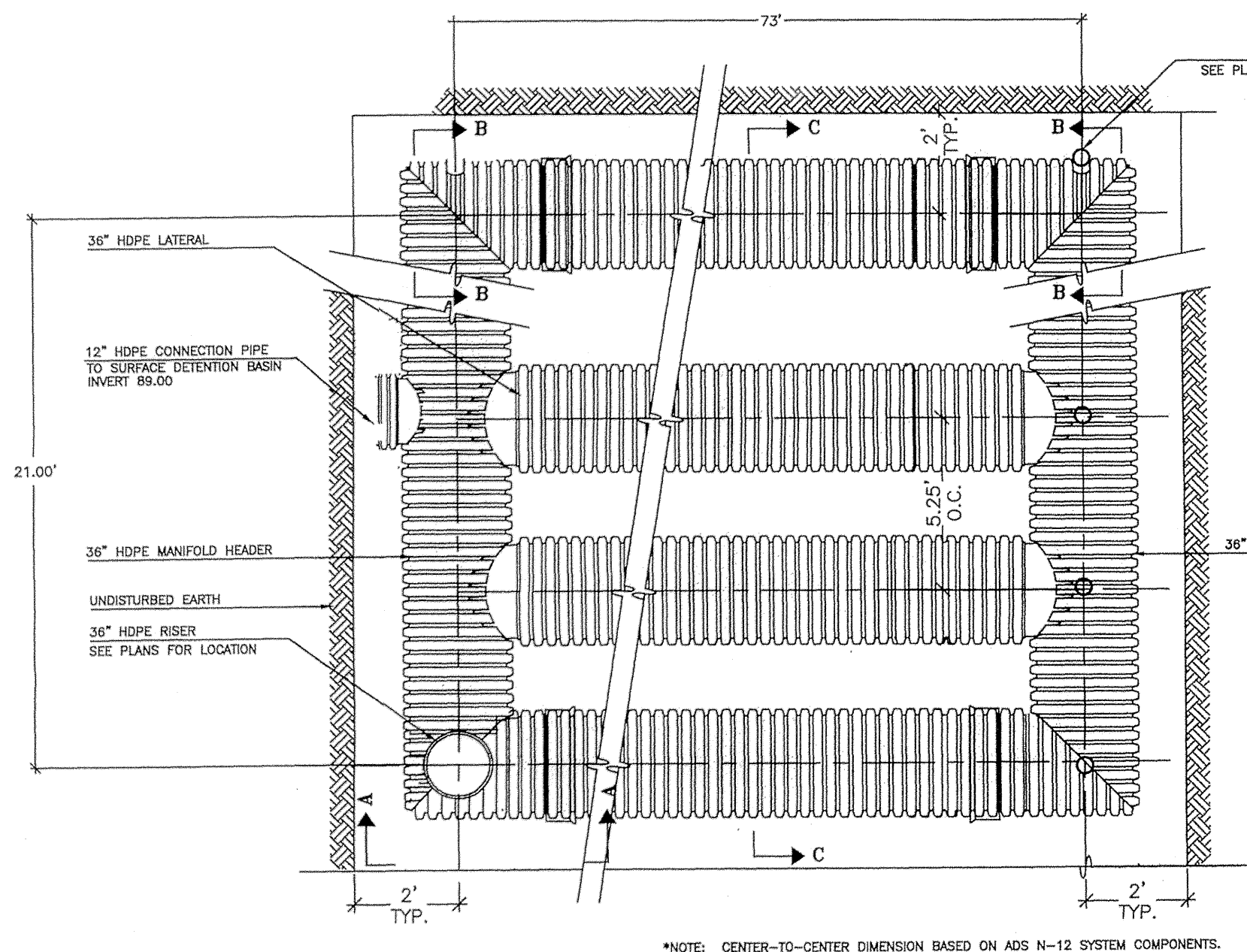
3 Granite Curb
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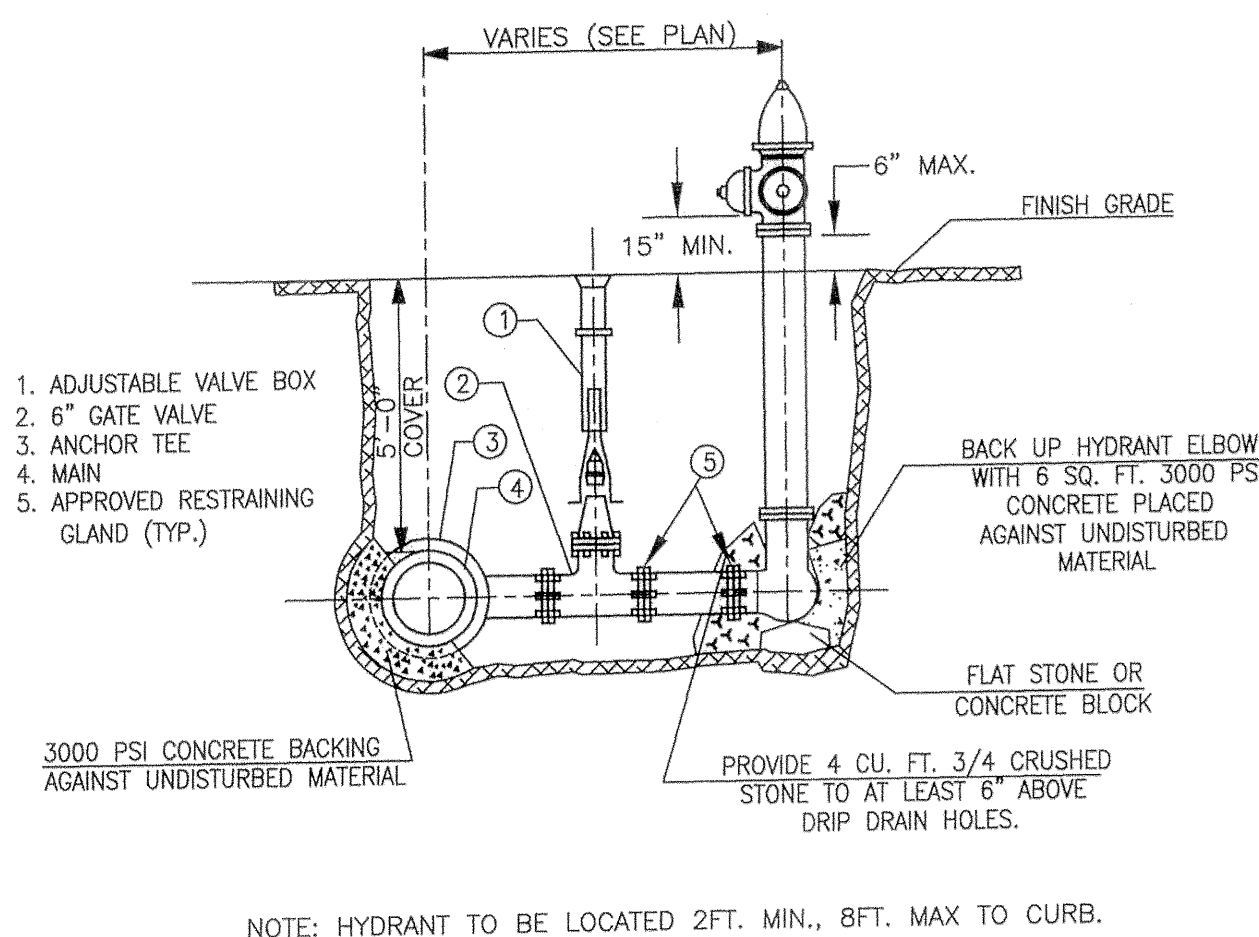
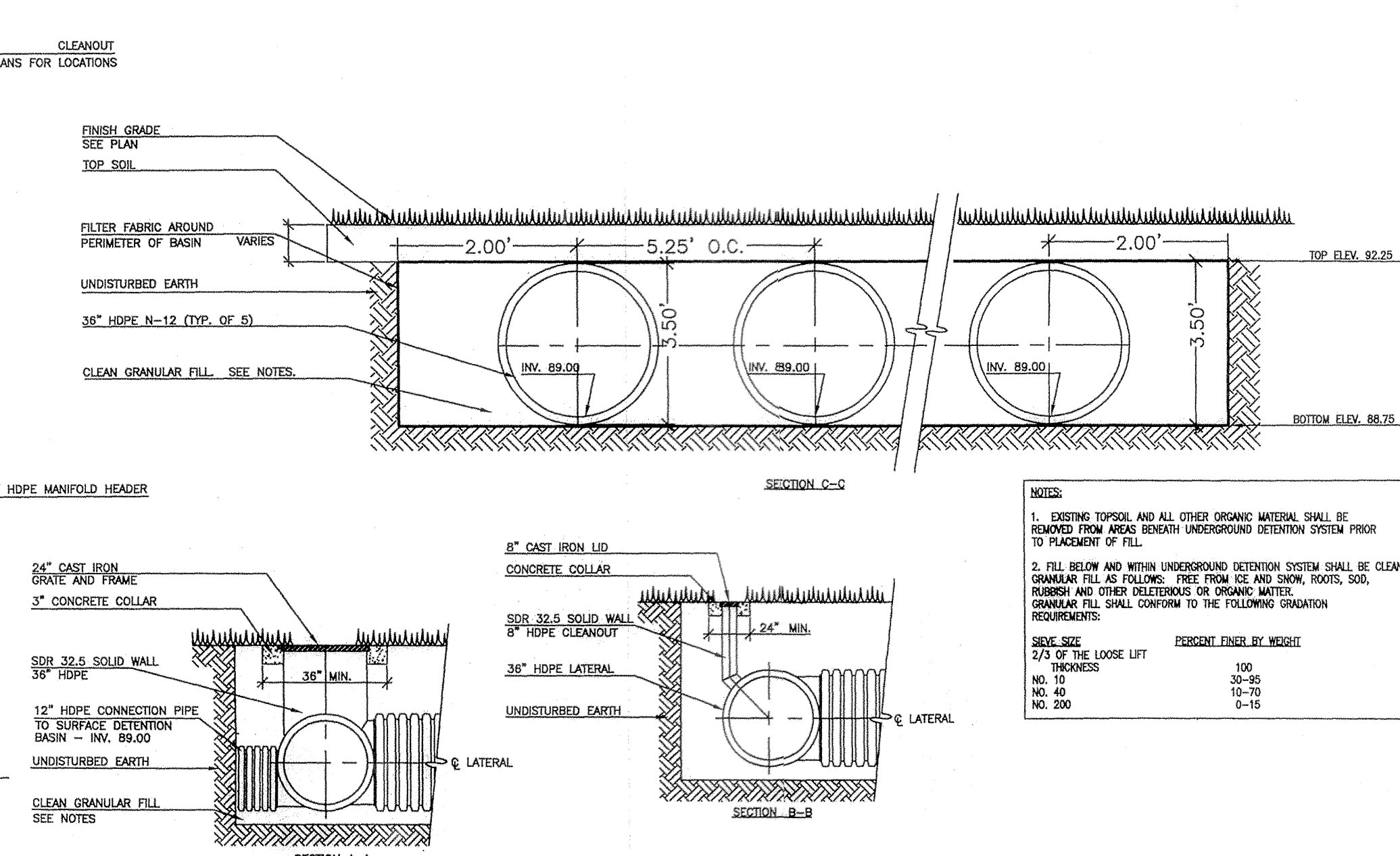
4 Sidewalk Ramp Transition
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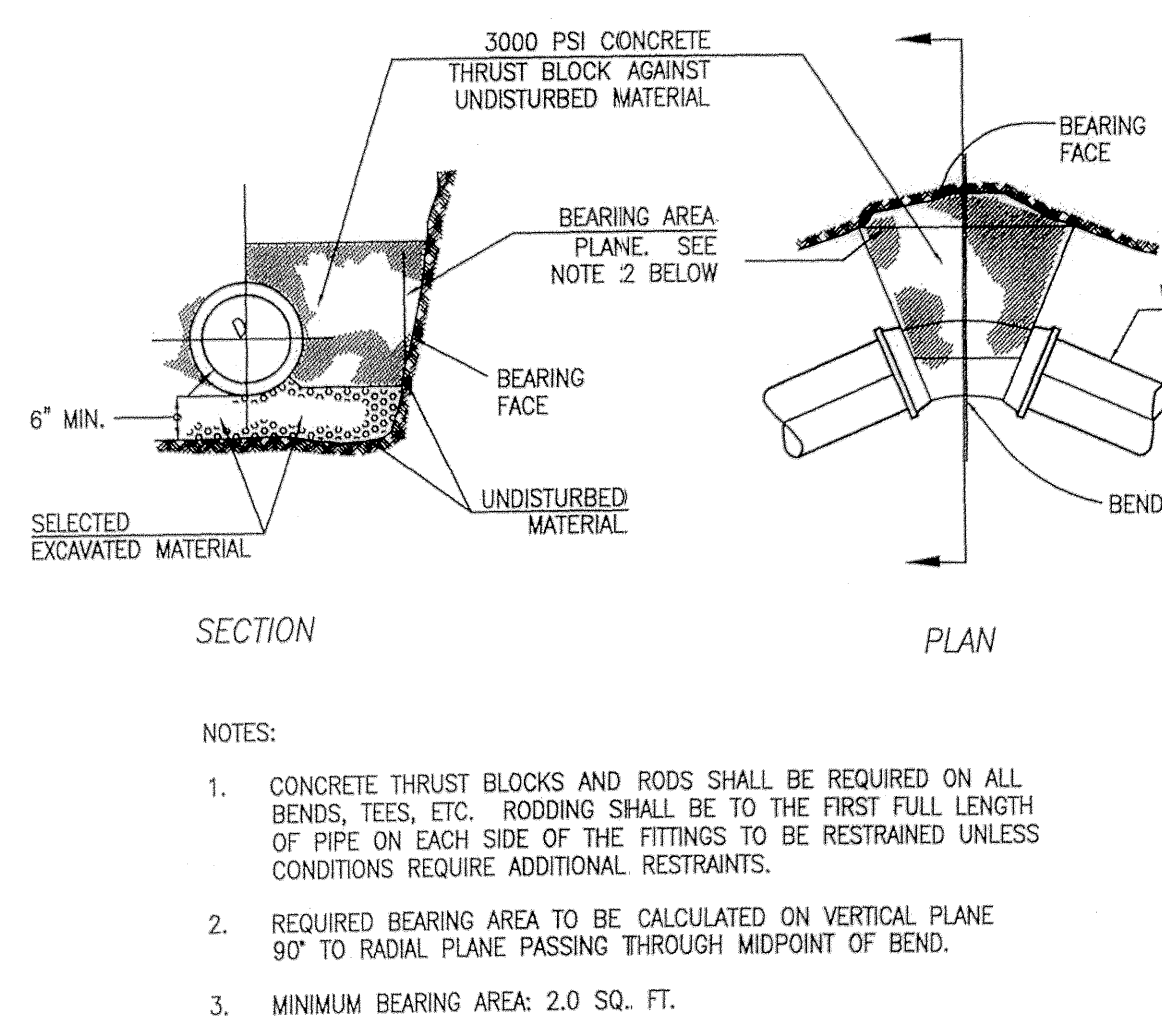
5 Stone Retaining Wall
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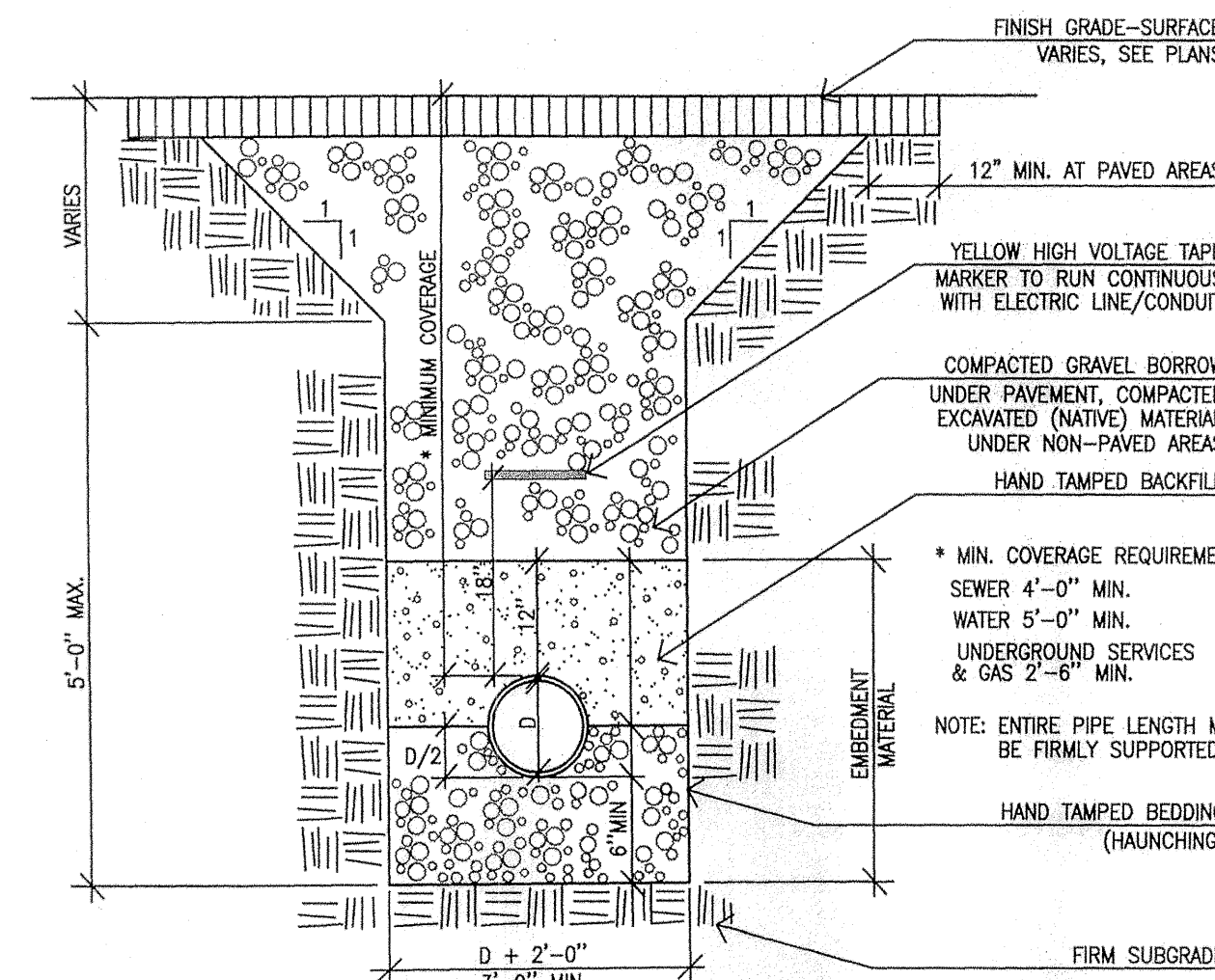
6 Underground Detention Basin
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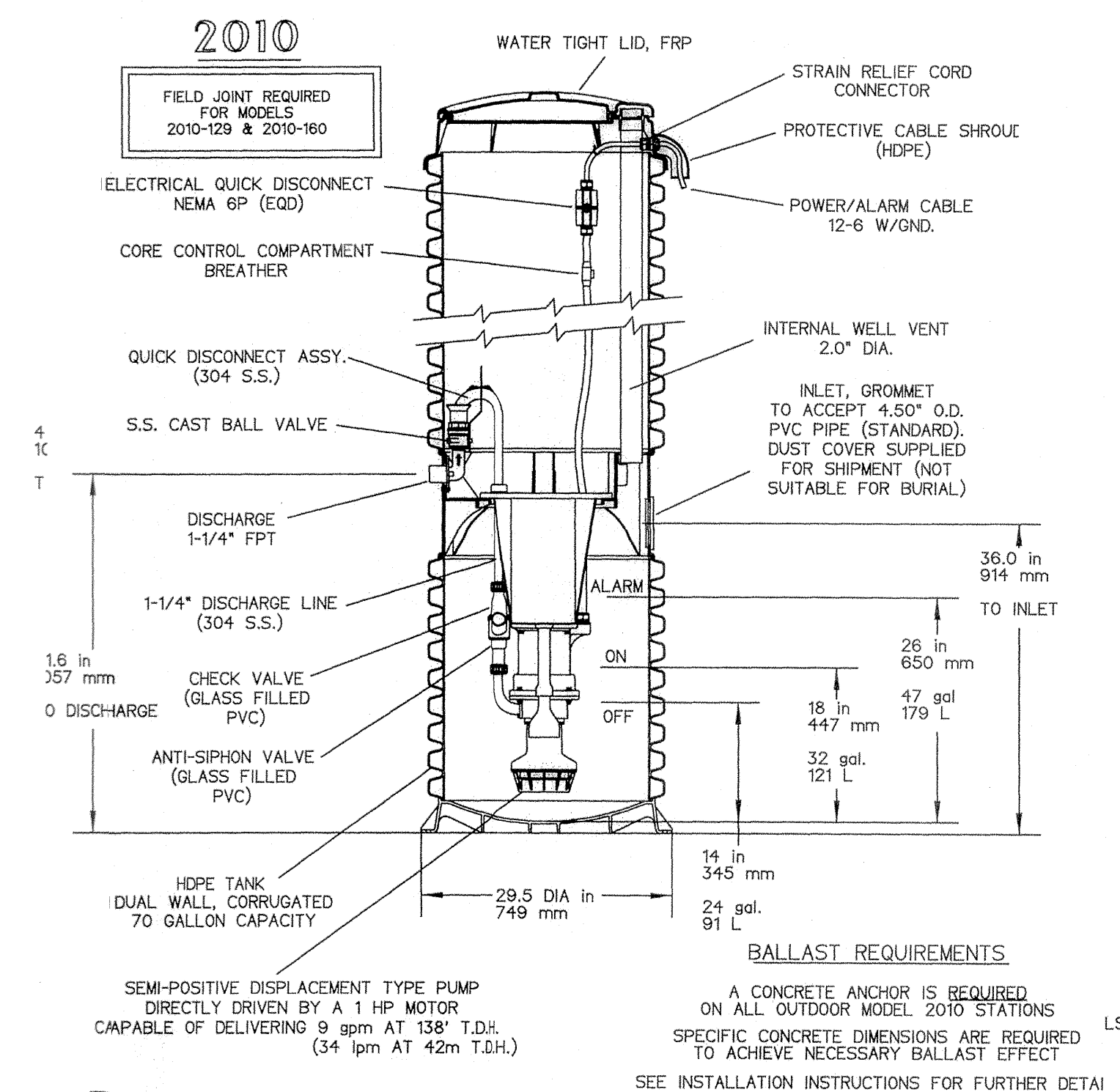
8 Hydrant Installation
L4 Not to Scale



9 Conc. Thrust Block
L4 Not to Scale



10 Typical Utility Trench
L4 Not to Scale



11 EONE Pump System Typical Detail
L4 Not to Scale

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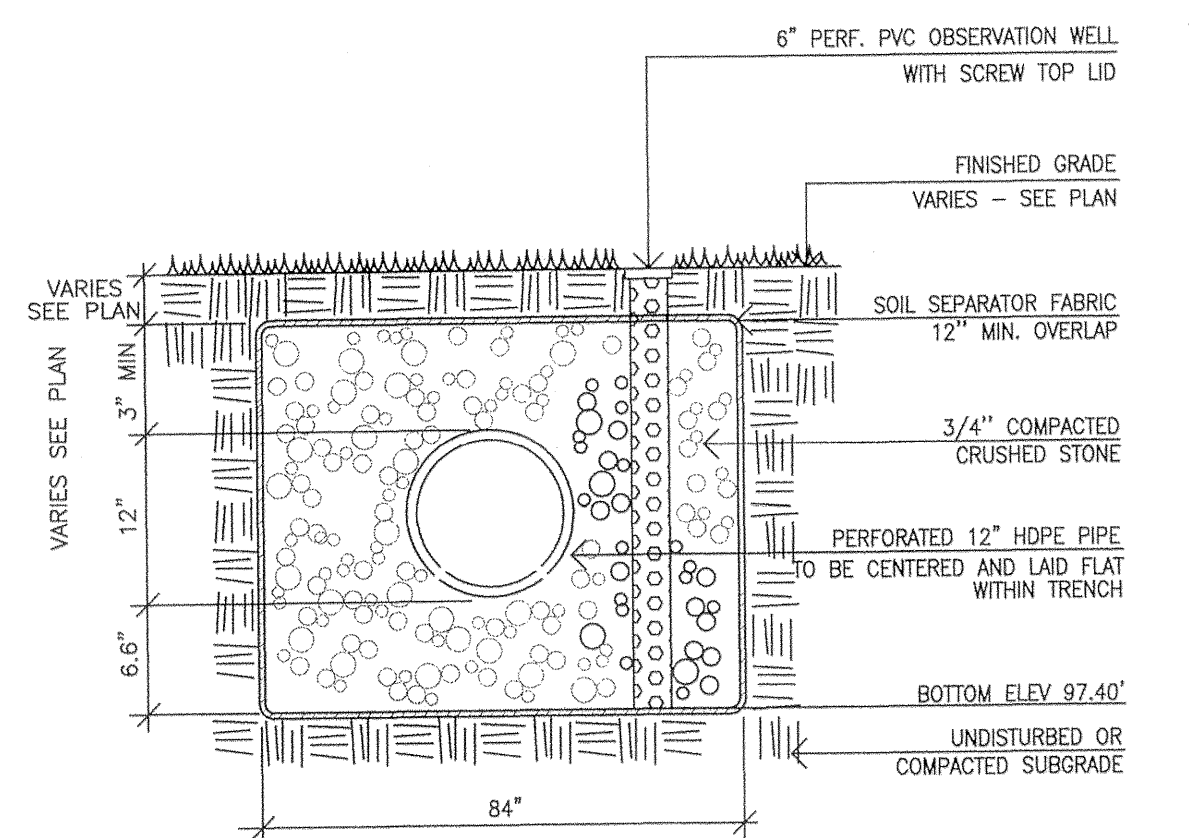
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Details

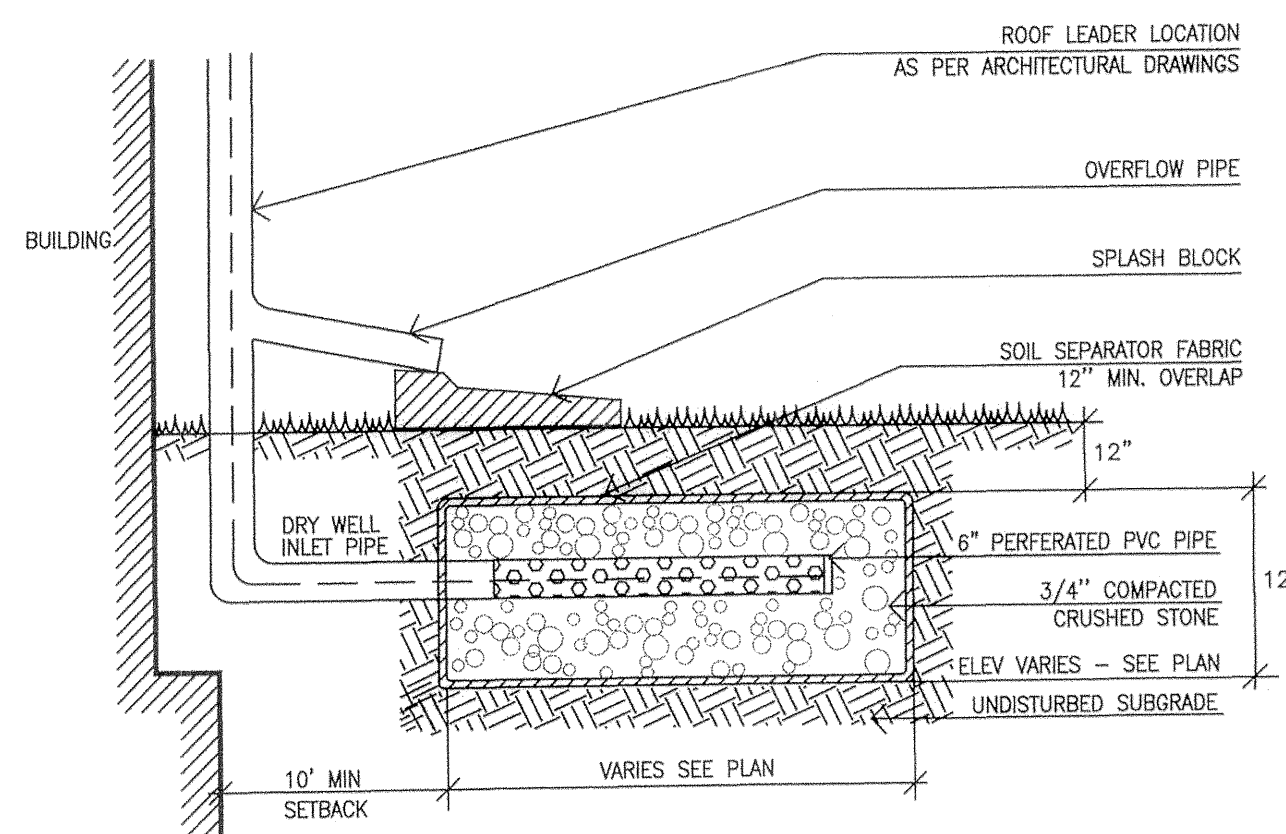
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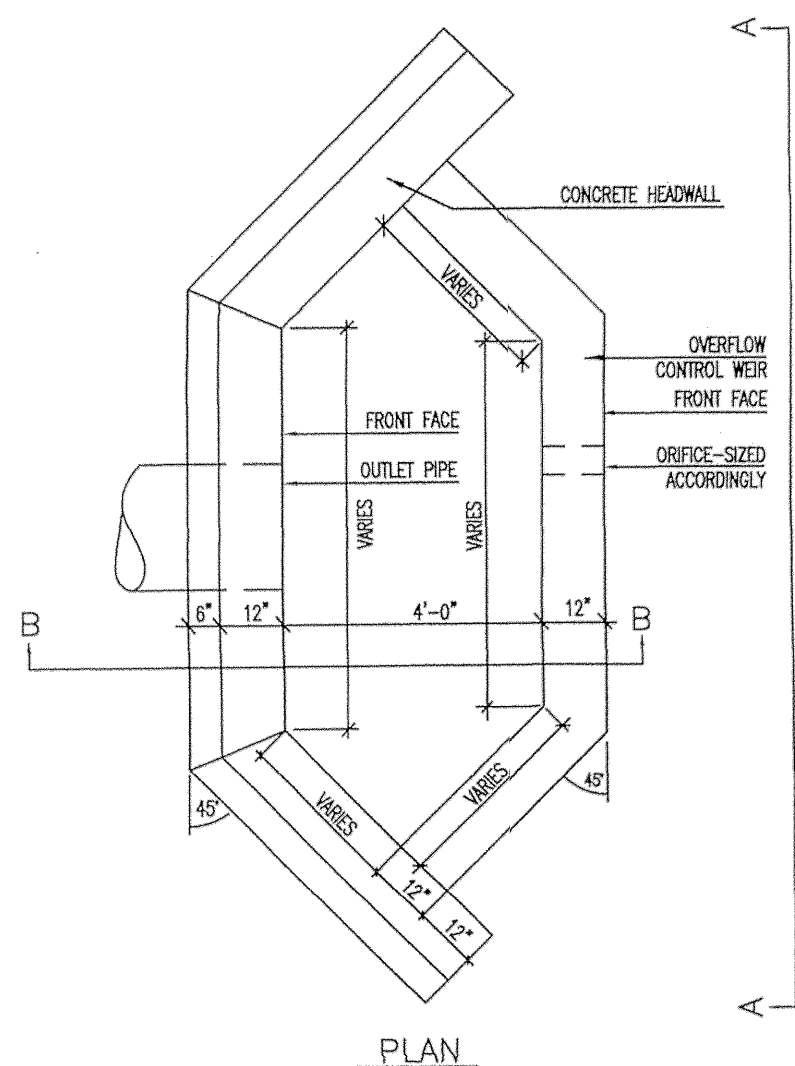
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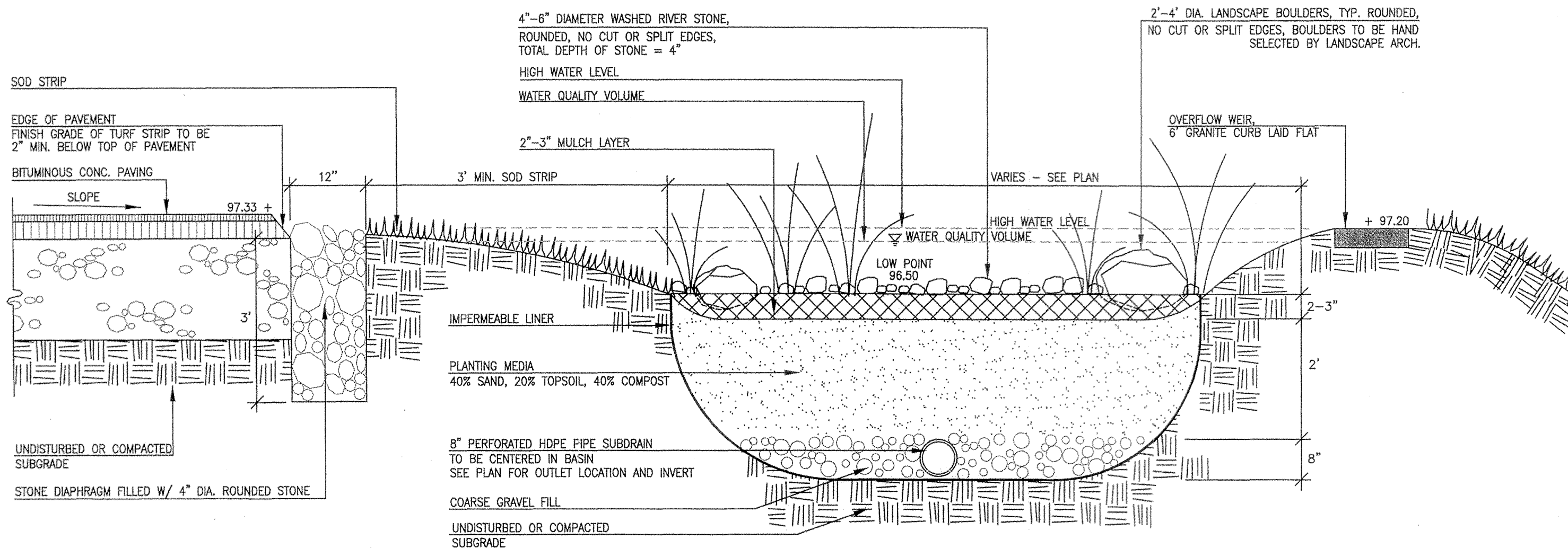
1 Infiltration Trench
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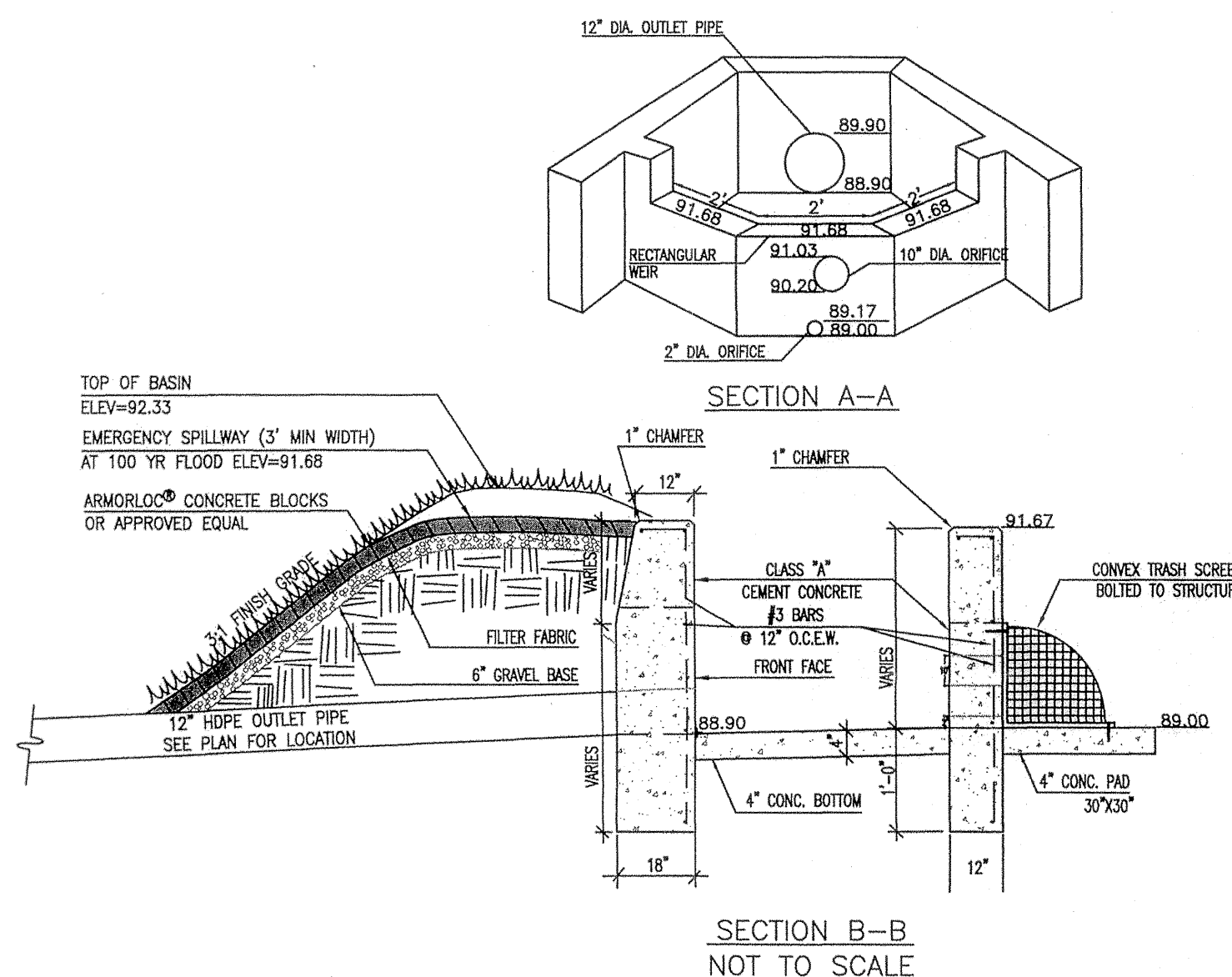
3 Dry Well and Roof Connection
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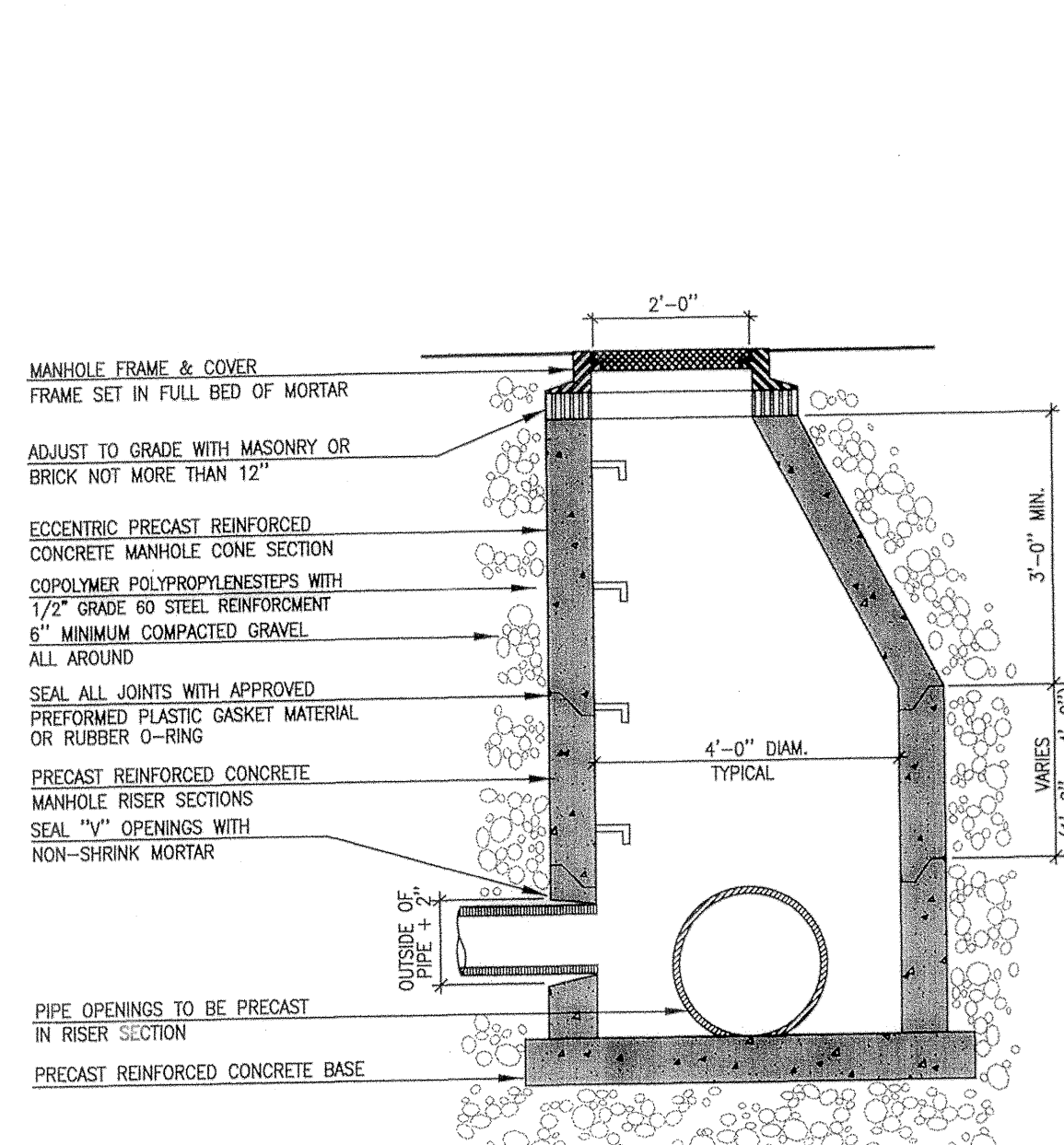
4 Outlet Control Structure and Detention Basin Overflow
L5 Not to Scale



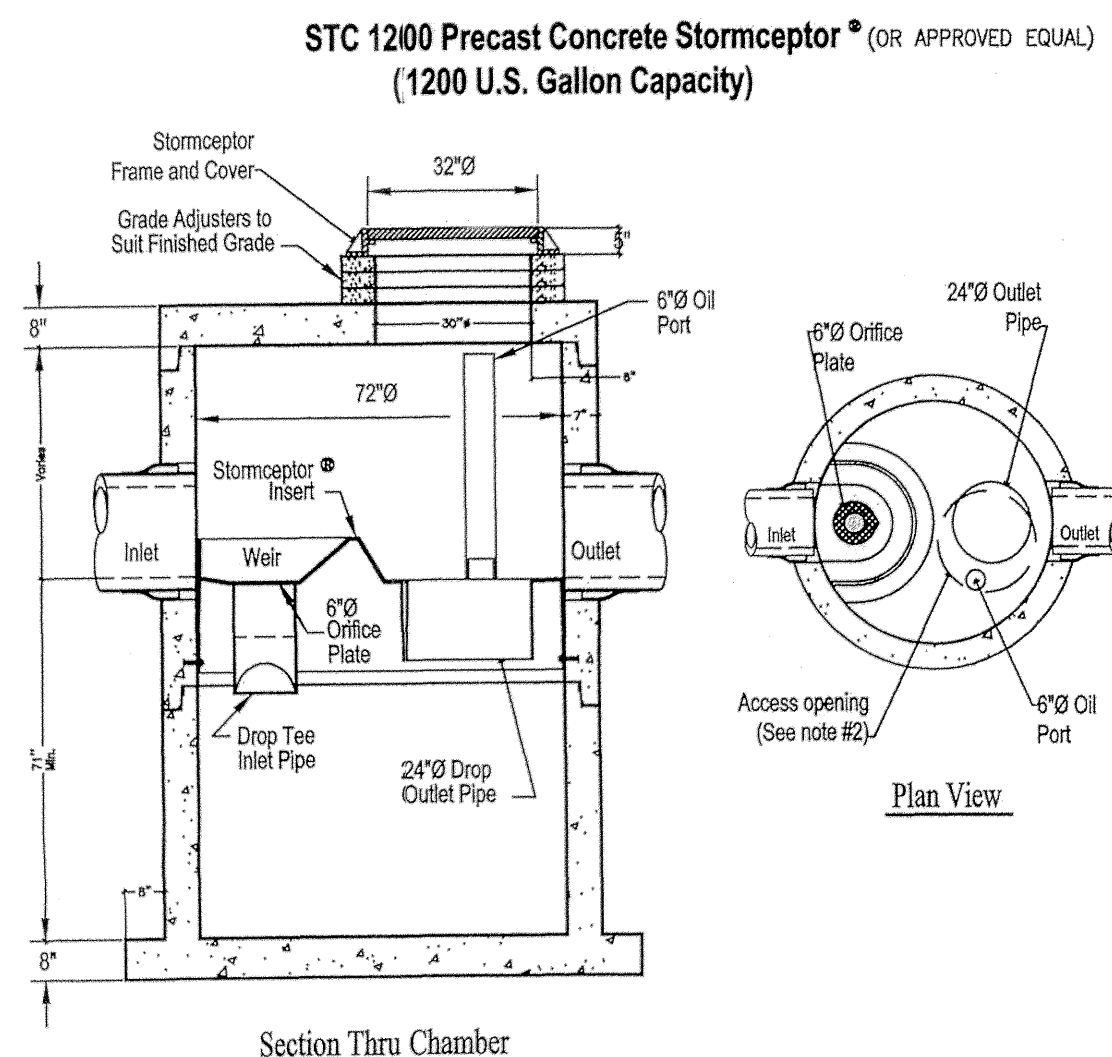
2 Rain Garden
L5 Not to Scale



5 Flared End Outlet with Armorloc® Erosion Protection
L5 Not to Scale

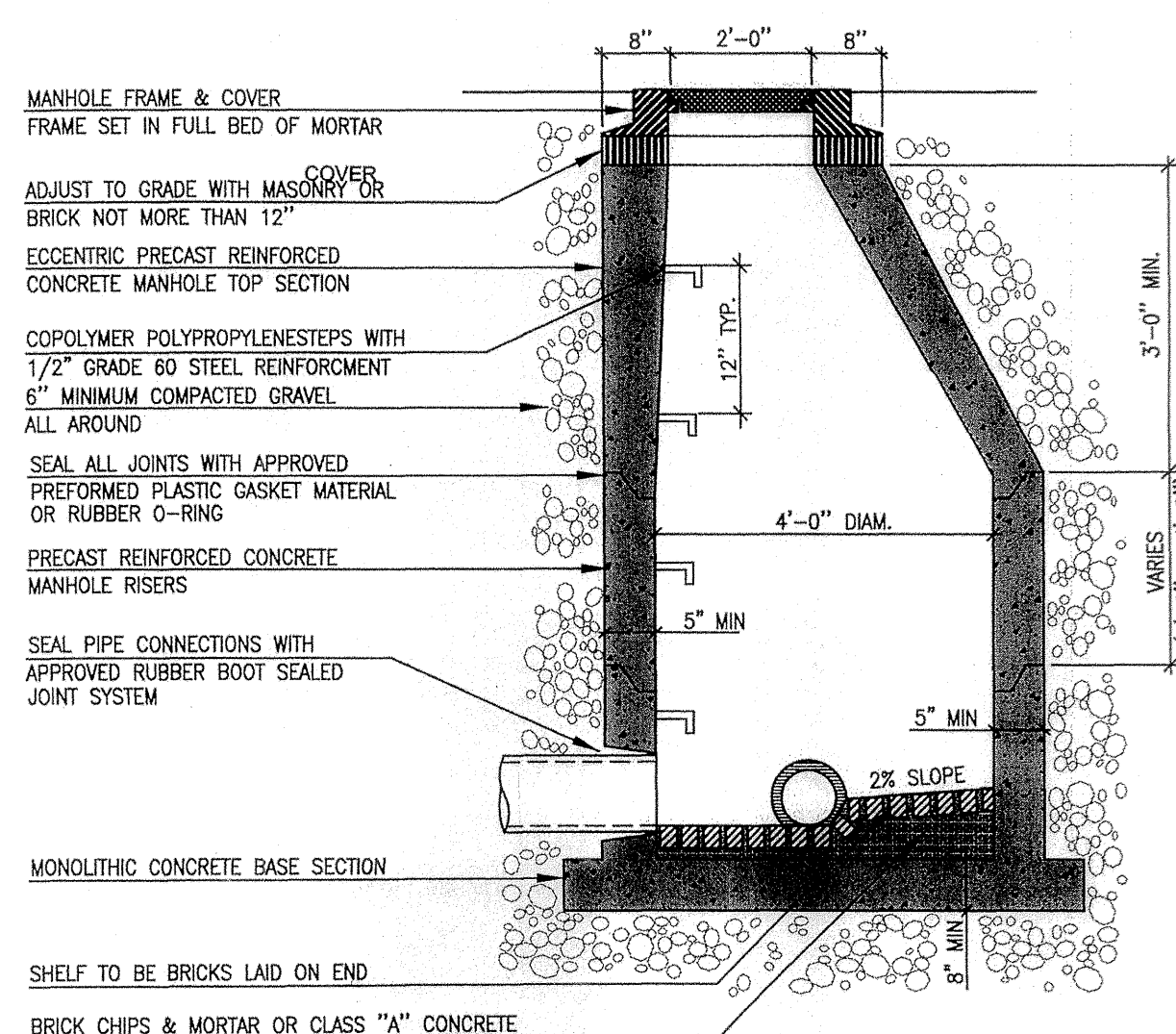


6 Drain Manhole
L5 Not to Scale

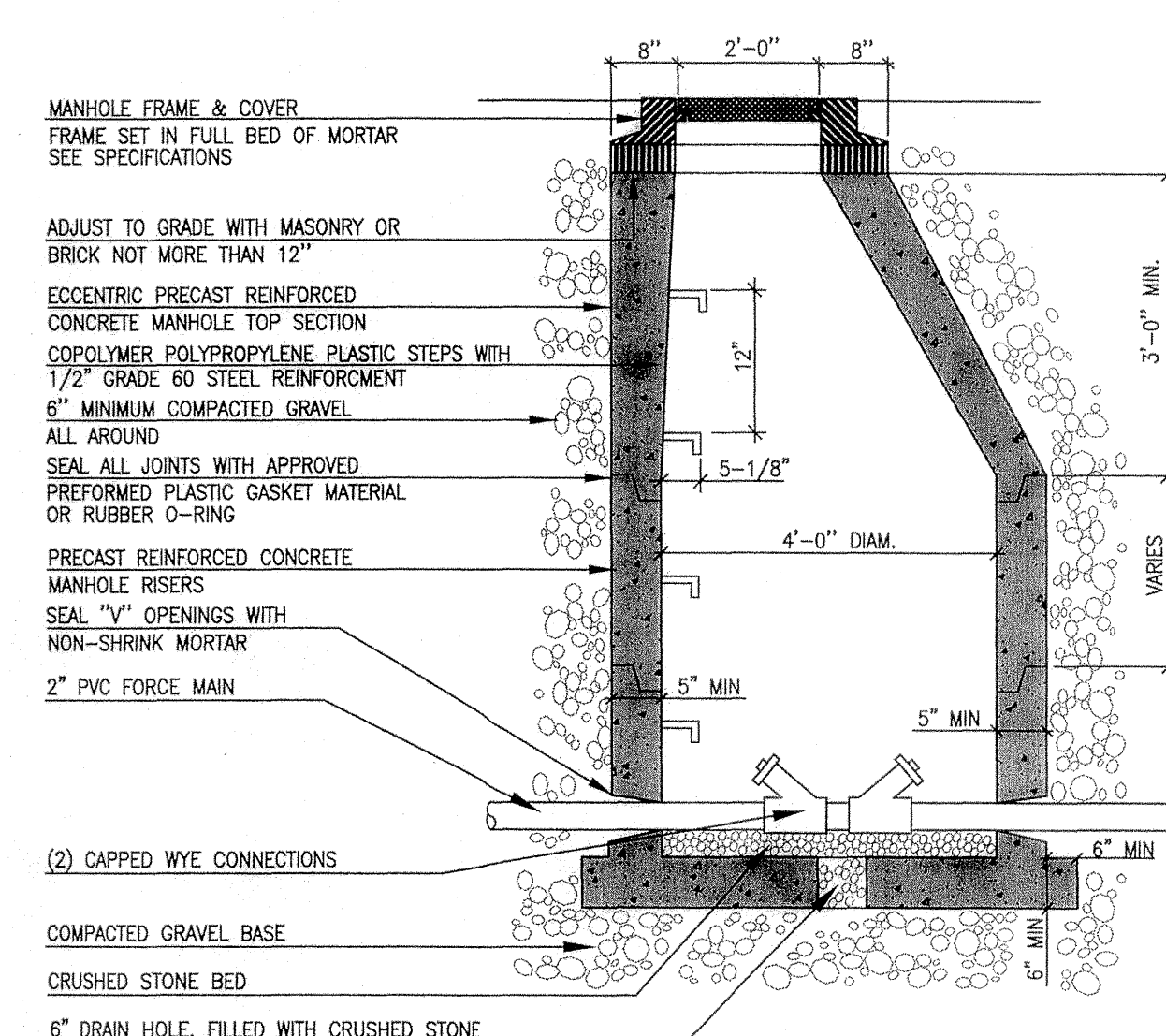


Notes:
1. The Use of Flexible Connection is Recommended at the Inlet and Outlet Where Applicable.
2. The Cover Should be Positioned Over the Outlet Drop Pipe and the Oil Port.
3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

7 Stormwater Treatment Chamber (STC 1200)
L5 Not to Scale



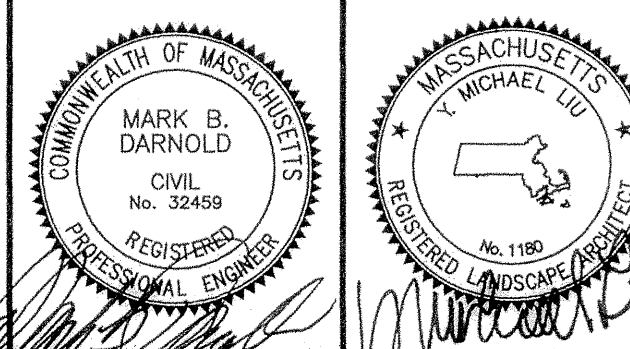
8 Sewer Manhole
L5 Not to Scale



9 Sewer Cleanout Manhole
L5 Not to Scale

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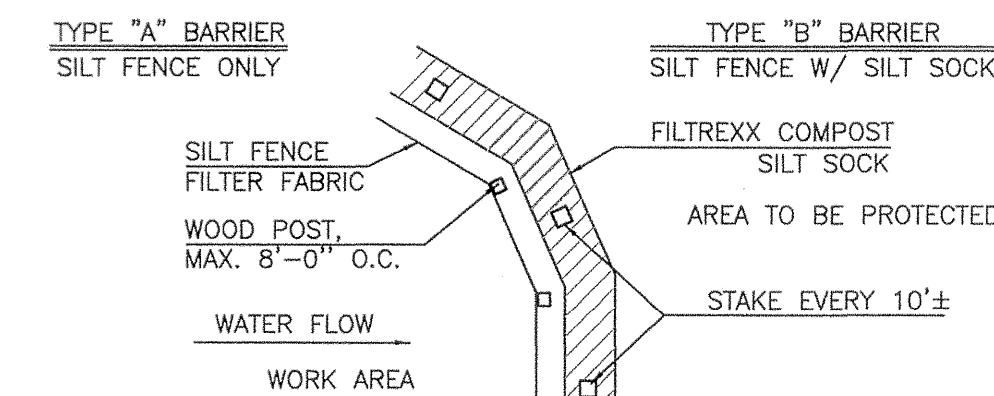
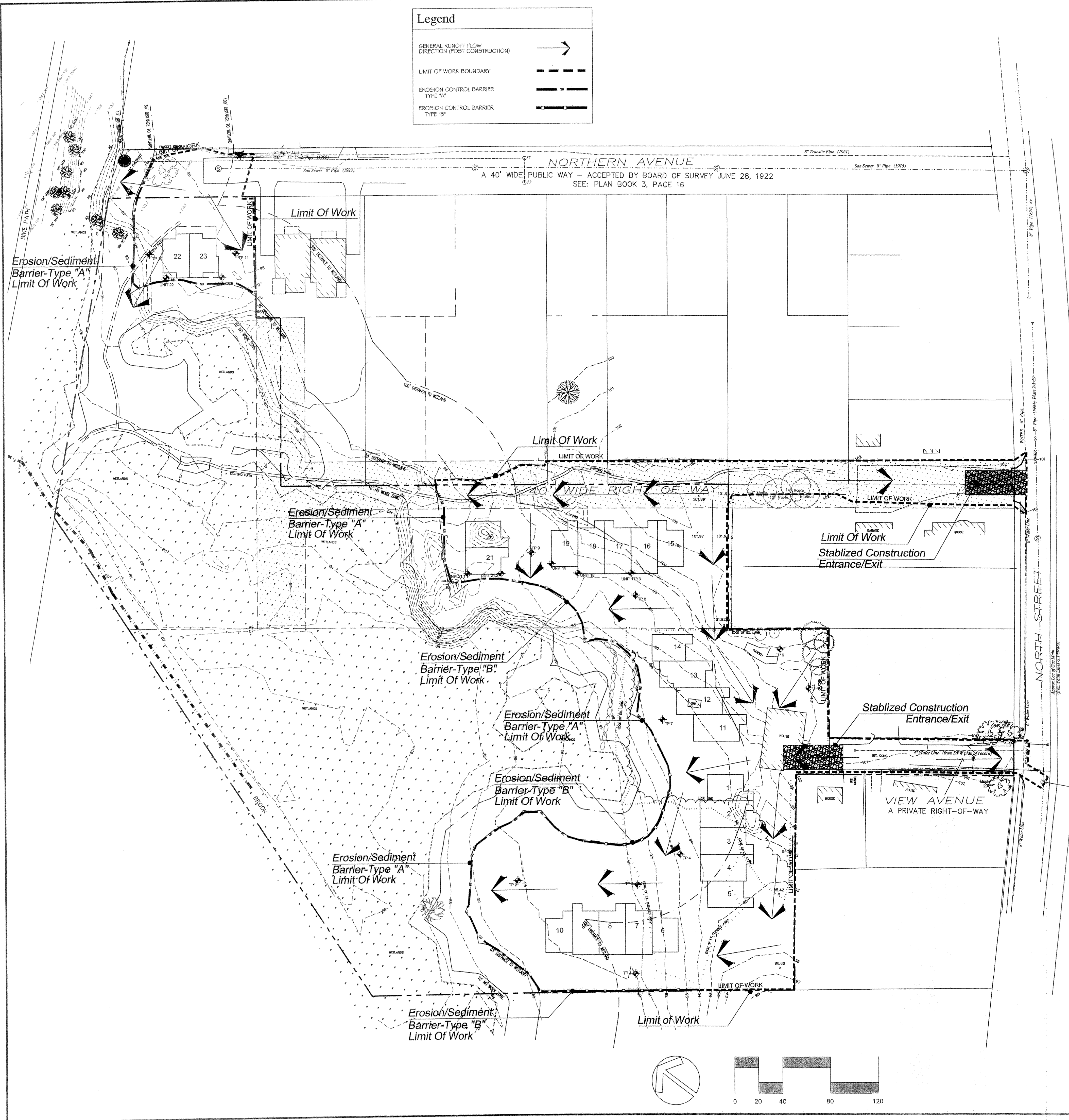
North Street Condominiums
North Street & Northern Avenue
Northampton, Massachusetts

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November 11, 2008

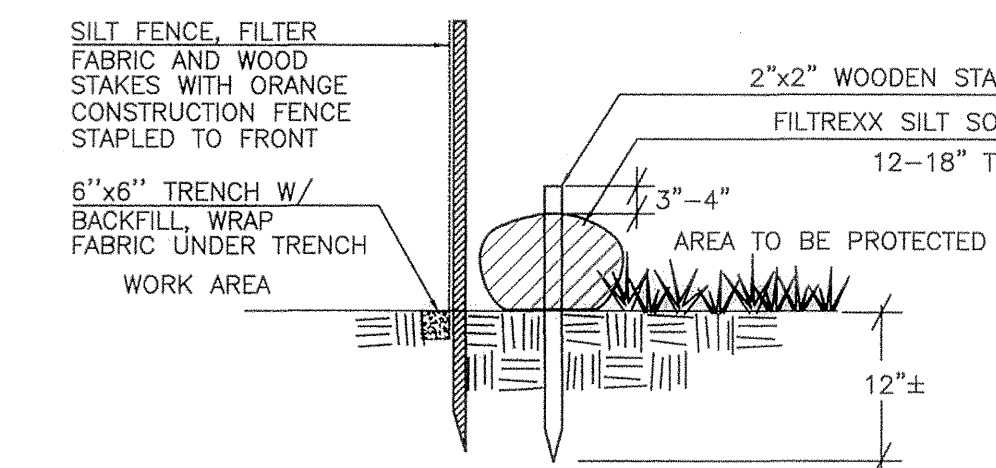
Details

Revisions
12.29.08 Revise Grading/Reduce Buffer Zone Work
02.19.09 Redesign/Reduce Density
03.05.09 Plan revisions/additions

Date: November 11, 2008
Scale: As Noted
Drawn By: YML/BCD
Checked By: YML
Sheet Number: L5



SEDIMENT BARRIER PLAN VIEW



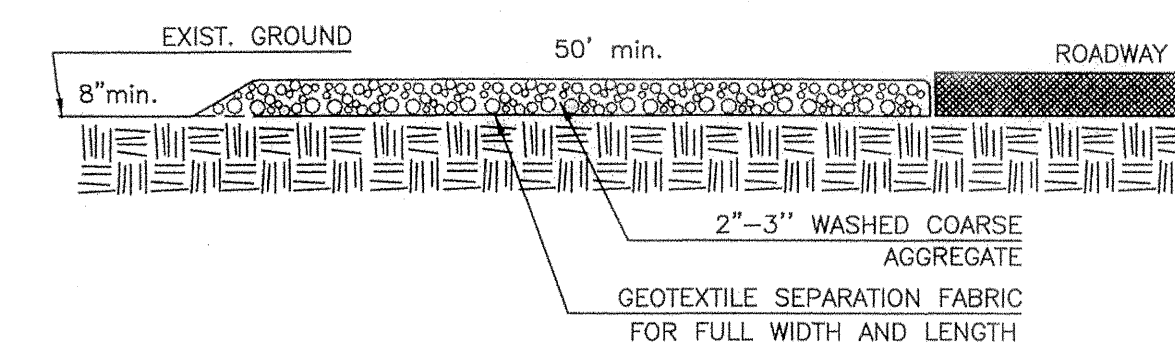
SEDIMENT BARRIER SECTION VIEW

SILT SOCK NOTES:

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS
2. SILTXXX COMPOST/STOCK/ROCK/SEED FILL TO MEET APPLICATION REQUIREMENTS
3. SILTXXX DEPICTED IS FOR MINIMUM SLOPES. GREATER SLOPES MAY REQUIRE LARGER SOCKS PER THE LANDSCAPE ARCHITECT.
4. COMPOST MATERIAL TO BE DISPERSED ON SITE, AS DETERMINED BY THE LANDSCAPE ARCHITECT.
5. LOCAL INSTALLER: NORTHEAST ENVIRONMENTAL SOLUTIONS, AMHERST, MA 866-870-4NES.
6. OTHER MEASURES ACCEPTABLE TO DPW AND CONSERVATION COMMISSION MAY BE SUBSTITUTED

1 Sediment Barrier - Silt Soxx®

EC1 Not to Scale



STABILIZED CONSTRUCTION ACCESS NOTES:

1. INSTALL TO LIMITS SHOWN ON THE EROSION CONTROL PLAN.
2. MIN. LENGTH: 50' MIN.
3. GRADE AND CROSS SLOPE: 2%
4. CLEAR ACCESS OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONAL MATERIAL.
5. GRADE THE ROAD SUBGRADE SO THAT THE ACCESS WILL NOT DRAIN OFF SITE.
6. MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD, SEDIMENT, ETC. FROM LEAVING THE SITE. SHOULD MUD/SEDIMENT BE TRACKED OR WASHED INTO THE EXISTING ROADWAY IT SHOULD BE REMOVED IMMEDIATELY.

2 Stabilized Construction Access (Tracking Pad)

EC1 Not to Scale

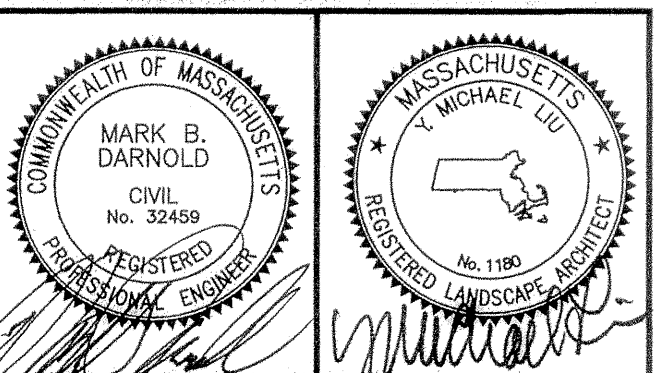
Erosion Control Notes

1. Erosion control measures shall be incorporated in the sequence of construction to prevent sediment-laden runoff from leaving the site, and shall, where applicable, consist of at least the following procedures:
 - a. A siltation fence along downslope site boundaries prior to commencing any other work. Fence material shall be Mirafi 140N, Trevira 1127, or approved equivalent.
 - b. Temporary barrier of siltsoxx (or equivalent) around catch basins and drain inlets to prevent sediment-laden runoff from entering drainage system.
 - c. New or regraded slopes of 3:1 or greater shall receive spread straw and/or seed and fertilizer as per plans. New or regraded slopes of 2:1 or greater shall be blanketed with Cutrex erosion control matting, or approved equal; provide temporary slope erosion control where required.
 - d. Fill and grading shall be treated with slope stabilization seeding or ground cover and hay mulch upon completion.
2. All haybale and silt fence erosion and sedimentation checks shall be placed prior to beginning work as per the plan and as per the appropriate detail specification.
3. Wherever haybale/siltsoxx or silt fence filters are used, they shall be maintained in good working condition until ground cover is reestablished. Silt fence shall be periodically cleaned as necessary to assure proper and effective functioning. Haybales/Siltsoxx shall also be replaced as necessary, to provide adequate function.
4. Natural vegetation shall be retained wherever feasible up to the scheduled start of construction activity in the area. Where possible, clearing shall immediately precede construction activity.
5. No siltation shall be allowed into the wetlands on site, and no erosion of any bank edge shall be allowed under any circumstances.
6. Soil stockpiles shall be shaped and seeded with temporary cover as per seeding specifications or mulched if grading is to be delayed over winter. The downhill toe-of-slope of all stockpiled soils shall be protected by staked siltsoxx or silt fence.
7. If any questions arise regarding erosion and sedimentation control measures, the Project Engineer shall be consulted immediately.
8. This project requires a NPDES General Permit for Stormwater Discharges from Construction Activities. Contractor and Owner are responsible for finalizing a Stormwater Pollution Prevention Plan (SWPPP) and filing for the NPDES permit prior to the start of construction. All clearing, grading, drainage, construction, and development shall be conducted in strict accordance with the SWPPP and conditions of the NPDES General Permit. Documentation associated with the NPDES General Permit for Stormwater Discharges from Construction Activities is required as part of the LEED compliance.
9. The Contractor is responsible for conducting work in full conformance with the Order of Conditions issued by the Granby Conservation Commission, including the Stormwater Management System Operations and Maintenance Plan.
10. Native plantings proposed within the 35' buffer to the wetlands shall be hand-dug.

The
Berkshire
Design
Group, Inc.

Landscape Architecture
Civil Engineering
Planning
Urban Design
Environmental Design

4 Allen Place, Northampton, Massachusetts 01060
(413) 582-7000 • FAX (413) 582-7005
Email: bdg@berkshiredesign.com
Web: http://www.berkshiredesign.com



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Erosion Control Plan

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Date:	November 11, 2008	Sheet Number
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Drawn By:	BCD	
Checked By:	YML	